

At: Gadeirydd ac Aelodau'r Pwyllgor
Cynllunio

Dyddiad: 8 Ebrill 2019

Rhif Union: 01824 712589

ebost: democrataidd@sirddinbych.gov.uk

Annwyl Gyngorydd

Fe'ch gwahoddir i fynychu cyfarfod y **PWYLLGOR CYNLLUNIO, DYDD MERCHER, 17 EBRILL 2019** am **9.30 AM** yn **SIAMBR Y CYNGOR, NEUADD Y SIR, RHUTHUN LL15 1YN**

Yn gywir iawn

G Williams

Pennaeth Gwasanaethau Cyfreithiol, AD a Democrataidd

AGENDA

1 YMDDIHEURIADAU

2 DATGANIADAU O FUDDIANT (Tudalennau 9 - 10)

Dylai'r Aelodau ddatgan unrhyw gysylltiad personol neu gysylltiad sy'n rhagfarnu mewn unrhyw fater a nodwyd i'w ystyried yn y cyfarfod hwn.

3 MATERION BRYD FEL Y'U CYTUNWYD GAN Y CADEIRYDD

Hysbysiad o eitemau y dylid, ym marn y Cadeirydd, eu hystyried yn y cyfarfod fel materion brys yn unol ag Adran 100B(4) Deddf Llywodraeth Leol 1972.

4 COFNODION (Tudalennau 11 - 16)

Cadarnhau cywirdeb cofnodion cyfarfod y Pwyllgor Cynllunio a gynhaliwyd ar 13 Chwefror 2019 (copi ynghlwm).

CEISIADAU AM GANIATÂD I DDATBLYGU (EITEMAU 5 - 7) -

5 CAIS RHIF 41/2019/0089/PF FFERM NANT GWILYM, TREMEIRCHION LL17 0UG (Tudalennau 17 - 48)

Ystyried cais i drawsnewid adeiladau allanol i ffurfio 4 o unedau llety gwyliau i'w gosod, codi llofft ystlumod, gosod tanc septig, addasiadau i drefniadau presennol y fynedfa i gerbydau a gwaith cysylltiedig yn yr adeiladau allanol yn Fferm Nant Gwilym, Tremeirchion, LL17 0UG (copi ynghlwm).

6 CAIS RHIF 43/2019/0112/PF - 83 FFORDD GRONANT, PRESTATYN (Tudalennau 49 - 66)

Ystyried cais i godi annedd newydd yn lle'r un presennol a gwaith cysylltiedig yn 83 Ffordd Gronant, Prestatyn LL19 9NA (copi ynghlwm).

7 CAIS RHIF 22/2019/0275/PF - TIRIONFA, HENDRERWYDD (Tudalennau 67 - 86)

Ystyried cais i godi estyniadau a gwneud addasiadau i annedd yn Tirionfa, Hendrerwydd,, Dinbych (copi ynghlwm).

8 ADRODDIAD AR YR YMGYNGHORIAD A MABWYSIADU NEWIDIADAU I ARDAL GADWRAETH Y RHYL (Tudalennau 87 - 108)

Ystyried adroddiad gan y Rheolwr Cynllunio Strategol a Thai a'r Prif Swyddog Cynllunio a Gwarchod y Cyhoedd, i gytuno i newidiadau i faint Ardal Gadwraeth y Rhyl (copi ynghlwm).

AELODAETH

Y Cynghorwyr

Y Cynghorydd Joe Welch (Cadeirydd)

Y Cynghorydd Alan James (Is-Gadeirydd)

Ellie Chard
Ann Davies
Meirick Davies
Peter Arnold Evans
Brian Jones
Huw Jones
Tina Jones
Gwyneth Kensler
Christine Marston

Bob Murray
Merfyn Parry
Pete Prendergast
Andrew Thomas
Tony Thomas
Julian Thompson-Hill
Emrys Wynne
Mark Young

COPIAU I'R:

Holl Gynghorwyr er gwybodaeth
Y Wasg a'r Llyfrgelloedd
Cynghorau Tref a Chymuned

Mae tudalen hwn yn fwriadol wag

CROESO I BWYLLGOR CYNLLUNIO CYNGOR SIR DDINBYCH

SUT Y CYNHELIR Y CYFARFOD

Oni bai y bydd Cadeirydd y Pwyllgor yn dweud yn wahanol, bydd trefn y prif eitemau a drafodir yn dilyn y rhaglen a nodir ar ddechrau'r adroddiad hwn.

Cyflwyniad cyffredinol

Bydd y Cadeirydd yn agor y cyfarfod am 9.30am ac yn croesawu pawb i'r Pwyllgor Cynllunio.

Bydd y Cadeirydd yn holi a oes unrhyw ymddiheuriadau am absenoldeb a datganiadau o gysylltiad.

Bydd y Cadeirydd yn gwahodd Swyddogion i wneud cyflwyniad byr i'r materion sy'n berthnasol i'r cyfarfod.

Bydd Swyddogion yn amlinellu eitemau fel y bo'n briodol a fydd yn destun siarad cyhoeddus, yn geisiadau am ohirio, eu tynnu'n ôl, adroddiadau arbennig ac unrhyw eitemau Rhan 2 lle gellir gwahardd y wasg a'r cyhoedd. Cyfeirir at wybodaeth ychwanegol sydd wedi'i chylchredeg yn Siambr y Cyngor cyn dechrau'r cyfarfod, yn cynnwys sylwadau hwyr/taflenni crynhoi diwygiadau ('Taflenni Glas') ac unrhyw gynlluniau ategol neu ddiwygiedig yn ymwneud ag eitemau i'w hystyried.

Mae'r Taflenni Glas yn cynnwys gwybodaeth bwysig, yn cynnwys crynodeb o'r deunydd a dderbynnir mewn perthynas ag eitemau ar y rhaglen rhwng cwblhau'r prif adroddiadau a'r diwrnod cyn y cyfarfod. Mae'r taflenni hefyd yn gosod trefn rhedeg arfaethedig ceisiadau cynllunio, i ystyried ceisiadau siarad cyhoeddus.

Mewn perthynas â threfn eitemau, bydd disgwyl i unrhyw Aelodau sy'n ceisio symud eitem yn ei blaen i'w hystyried, yn gorfod gwneud cais o'r fath yn syth wedi cyflwyniad y Swyddog. Rhaid gwneud unrhyw gais o'r fath fel cynnig ffurfiol a bydd yn destun pleidlais.

Mae'r Pwyllgor Cynllunio'n cynnwys 21 Aelod etholedig. Yn unol â phrotocol, rhaid i 11 Aelod fod yn bresennol ar ddechrau dadl dros eitem i wneud cworwm ac i ganiatáu cynnal y bleidlais.

Gall Aelodau'r Cyngor Sir nad ydynt wedi'u hethol ar y Pwyllgor Cynllunio ddod i'r cyfarfod a siarad am eitem, ond nid ydynt yn gallu gwneud cynnig i roi neu wrthod cais, neu bleidleisio.

YSTYRIED CEISIADAU CYNLLUNIO

Y drefn i'w dilyn

Bydd y Cadeirydd yn cyhoeddi'r eitem a fydd yn cael sylw nesaf. Mewn perthynas â cheisiadau cynllunio, cyfeirir at rif y cais, y lleoliad a sail y cynnig, yr Aelodau lleol perthnasol ar gyfer yr ardal ac argymhelliad y Swyddog.

Os yw unrhyw Aelod o blaid cynnig gohirio eitem, yn cynnwys caniatáu bod y safle'n cael ymweliad gan y Panel Arolygu Safle, dylid gwneud y cais, gyda'r rheswm cynllunio dros ohirio, cyn unrhyw siarad cyhoeddus neu ddadl dros yr eitem honno.

Os oes siaradwyr cyhoeddus gydag eitem, bydd y Cadeirydd yn eu gwahodd i annerch y Pwyllgor. Lle mae siaradwyr o blaid ac yn erbyn cynnig, gofynnir i'r siaradwr siarad yn gyntaf. Bydd y Cadeirydd yn atgoffa siaradwyr eu bod ag uchafswm o 3 munud i annerch y Pwyllgor. Mae siarad cyhoeddus yn destun protocol ar wahân.

Lle bo'n berthnasol, bydd y Cadeirydd yn cynnig y cyfle i Aelodau ddarllen unrhyw wybodaeth hwyr am eitem ar y 'Taflenni Glas' cyn symud ymlaen.

Cyn unrhyw drafodaeth, gall y Cadeirydd wahodd Swyddogion i roi cyflwyniad byr am eitem lle ystyrir hyn yn werthfawr o ran natur y cais.

Mae sgriniau arddangos yn Siambr y Cyngor sy'n cael eu defnyddio i ddangos lluniau, neu gynlluniau a gyflwynwyd gyda'r ceisiadau. Mae'r lluniau'n cael eu tynnu gan Swyddogion i roi darlun cyffredinol o'r safle a'r hyn sydd o'i amgylch i Aelodau, ac nid eu bwriad yw cyflwyno achos o blaid neu yn erbyn cais.

Bydd y Cadeirydd yna'n cyhoeddi y bydd yr eitem yn agored i'w thrafod ac yn rhoi'r cyfle i Aelodau siarad a gwneud sylwadau ar yr eitem.

Os yw unrhyw gais wedi bod yn destun Panel Arolygiad Safle cyn y Pwyllgor, bydd y Cadeirydd fel arfer yn gwahodd yr Aelodau hynny a oedd yn bresennol, yn cynnwys yr Aelod Lleol, i siarad gyntaf.

Gyda phob cais arall, bydd y Cadeirydd yn caniatáu'r Aelod(au) Lleol i siarad gyntaf, pe bai ef/hi/nhw yn dymuno.

Mae Aelodau fel arfer yn gyfyngedig i uchafswm o bum munud o amser siarad, a bydd y Cadeirydd yn cynnal y ddadl yn unol â'r Rheolau Sefydlog.

Unwaith y bydd Aelod wedi siarad, ni ddylai siarad eto oni bai y ceisir eglurhad am bwyntiau sy'n codi yn y ddadl, ac yna dim ond wedi i bob Aelod arall gael y cyfle i siarad, gyda chytundeb y Cadeirydd.

Ar gasgliad dadl yr Aelodau, bydd y Cadeirydd yn gofyn i Swyddogion ymateb fel y bo'n briodol i gwestiynau a phwyntiau a godwyd, yn cynnwys cyngor ar unrhyw benderfyniad sy'n groes i argymhelliad.

Cyn mynd ymlaen i bleidleisio, bydd y Cadeirydd yn gwahodd neu'n ceisio eglurhad am gynigion ac eilyddion o blaid neu yn erbyn argymhelliad y Swyddog, neu unrhyw benderfyniadau eraill yn cynnwys diwygiadau i gynigion. Lle mae cynnig yn groes i argymhelliad Swyddog, bydd y Cadeirydd yn ceisio eglurhad o'r rheswm/rhesymau cynllunio dros y cynnig hwnnw, er mwyn cofnodi hyn yng Nghofnodion y cyfarfod. Gall y Cadeirydd ofyn am sylwadau gan Swyddog y Gyfraith a Chynllunio ar ddilystrwydd y rheswm/rhesymau a nodwyd.

Bydd y Cadeirydd yn cyhoeddi pryd fydd y ddadl yn cau, ac y bydd pleidleisio'n dilyn.

Y weithdrefn bleidleisio

Cyn gofyn i Aelodau bleidleisio, bydd y Cadeirydd yn cyhoeddi pa benderfyniadau sydd wedi'u gwneud, a sut y bydd y bleidlais yn digwydd. Os oes angen, efallai y bydd angen rhagor o eglurhad am ddiwygiadau, sylwadau newydd neu ychwanegol a rhesymau dros wrthod, fel nad oes amwysedd ynghylch beth mae'r Pwyllgor yn pleidleisio o'i blaid neu yn ei erbyn.

Os oes unrhyw Aelod yn gofyn am Bleidlais wedi'i Chofnodi, rhaid delio â hyn yn gyntaf yn unol â Rheolau Sefydlog. Bydd y Cadeirydd a'r Swyddogion yn egluro'r weithdrefn i'w dilyn. Bydd enw pob Aelod sy'n pleidleisio'n cael eu galw a bydd pob Aelod yn cyhoeddi a yw eu pleidlais o blaid, yn erbyn, neu a ydynt yn gwrthod pleidleisio. Bydd Swyddogion yn cyhoeddi canlyniad y bleidlais ar yr eitem.

Os yw pleidlais am symud ymlaen yn y dull arferol drwy'r system bleidleisio electronig, bydd y Cadeirydd yn gofyn i'r Swyddogion baratoi'r sgrin(iau) pleidleisio yn y Siambr, ac yn ôl y gofyn, rhaid i Aelodau gofnodi eu pleidleisiau drwy bwysu'r botwm priodol (gweler y daflen ganlyniol).

Mae gan Aelodau 10 eiliad i gofnodi eu pleidleisiau unwaith y bydd y sgrin bleidleisio wedi'i dangos, oni bai y nodir yn wahanol gan Aelodau.

Os bydd y system pleidleisio electronig yn methu, gellir pleidleisio drwy ddangos dwylo. Bydd y Cadeirydd a'r Swyddogion yn egluro'r weithdrefn i'w dilyn.

Ar ddiwedd y bleidlais, bydd y Cadeirydd yn cyhoeddi'r penderfyniad ar yr eitem.

Lle bydd penderfyniad ffurfiol y Pwyllgor yn groes i argymhelliad y Swyddog, bydd y Cadeirydd yn gofyn i Aelodau gytuno ar y broses y drafftir amodau cynllunio neu resymau dros wrthod, er mwyn rhyddhau'r Dystysgrif Penderfyniad (e.e. dirprwyo awdurdod i'r Swyddog Cynllunio, i'r Swyddog Cynllunio mewn ymgysylltiad ag Aelodau Lleol, neu drwy gyfeirio'n ôl at y Pwyllgor Cynllunio am gadarnhad).

PWYLLGOR CYNLLUNIO

GWEITHDREFN PLEIDLEISIO ELECTRONIG

Atgoffir Aelodau o'r weithdrefn wrth ddefnyddio'r system pleidleisio electronig i fwrw eu pleidlais.

Oni ddywedir yn wahanol gan y Cadeirydd neu Swyddogion, unwaith y bydd y sgriniau arddangos yn y Siambr yn glir er mwyn paratoi i bleidleisio, a bod y sgrin pleidleisio'n dangos, mae gan Gynghorwyr 10 eiliad i gofnodi eu pleidlais fel a ganlyn:

Wrth bleidleisio ar **geisiadau**, ar y bysellfwrdd i bleidleisio, pwyswch

- 1 – i ROI / CYMERADWYO'R** cais
- 2 – i YMATAL** rhag pleidleisio ar y cais
- 3 – i WRTHOD** y cais

Wrth bleidleisio ar **adroddiadau arbennig ac eitemau gorfodi**, ar y bysellfwrdd i bleidleisio, pwyswch

- 1 – i DDERBYN ARGYMHELLIAD Y SWYDDOG**
- 2 – i YMWARTHOD** rhag pleidleisio ar yr argymhelliad
- 3 – i BEIDIO Â DERBYN ARGYMHELLIAD Y SWYDDOG**

Os bydd problemau gyda'r system pleidleisio electronig, bydd y Cadeirydd neu Swyddogion yn rhoi gwybod am y gweithdrefnau i'w dilyn.

PLANNING COMMITTEE

ELECTRONIC VOTING PROCEDURE

Members are reminded of the procedure when using the electronic voting system to cast their vote.

Unless otherwise advised by the Chair or Officers, once the display screens in the Chamber have been cleared in preparation for the vote, and the voting screen appears, Councillors have 10 seconds to record their vote as follows:

When voting on **applications**, on the voting keyboard, press

- 1** - to **GRANT / APPROVE** the application
- 2** – to **ABSTAIN** from voting on the application
- 3** – to **REFUSE** the application

When voting on **special reports and enforcement items**, on the voting keyboard, press

- 1** - to **ACCEPT THE OFFICER RECOMMENDATION**
- 2** - to **ABSTAIN** from voting on the recommendation
- 3** - to **NOT ACCEPT THE OFFICER RECOMMENDATION**

In the event of problems with the electronic voting system, the Chair or Officers will advise on the procedures to be followed.

DEDDF LLYWODRAETH LEOL 2000

Cod Ymddygiad Aelodau

DATGELU A CHOFRESTRU BUDDIANNAU

Rwyf i,
(enw)

*Aelod /Aelod cyfetholedig o
(*dileuer un)

Cyngor Sir Ddinbych

YN CADARNHAU fy mod wedi datgan buddiant ***personol / personol a sy'n rhagfarnu** nas datgelwyd eisoes yn ôl darpariaeth Rhan III cod ymddygiad y Cyngor Sir i Aelodau am y canlynol:-
(*dileuer un)

Dyddiad Datgelu:

Pwyllgor (nodwch):

Agenda eitem

Pwnc:

Natur y Buddiant:

(Gweler y nodyn isod)*

Llofnod

Dyddiad

Noder: Rhowch ddigon o fanylion os gwelwch yn dda, e.e. 'Fi yw perchennog y tir sy'n gyfagos i'r cais ar gyfer caniatâd cynllunio a wnaed gan Mr Jones', neu 'Mae fy ngŵr / ngwraig yn un o weithwyr y cwmni sydd wedi gwneud cais am gymorth ariannol'.

Mae tudalen hwn yn fwriadol wag

PWYLLGOR CYNLLUNIO

Cofnodion cyfarfod o'r Pwyllgor Cynllunio a gynhaliwyd yn Siambr y Cyngor, Neuadd y Sir, Rhuthun, Dydd Mercher, 13 Mawrth 2019 am 9.30 am.

YN BRESENNOL

Y Cynghorwyr Ellie Chard, Ann Davies, Alan James (Is-Gadeirydd), Huw Jones, Tina Jones, Gwyneth Kensler, Christine Marston, Bob Murray, Merfyn Parry, Pete Prendergast, Andrew Thomas, Tony Thomas, Julian Thompson-Hill, Joe Welch (Cadeirydd), Emrys Wynne a/ac Mark Young

HEFYD YN BRESENNOL

Arweinydd Tîm – Lleoedd (SC); Rheolwr Rheoli Datblygu (PM); Uwch Beiriannydd – Priffyrdd (MP); Beiriannydd (JB); Swyddog Cynllunio-Gradd Mewn Gyrfa (DS); Prif Swyddog Cynllunio (SS) a Gweinyddwr Pwyllgorau (RTJ)

1 YMDDIHEURIADAU

Derbyniwyd ymddiheuriadau am absenoldeb gan y Cynghorwyr Peter Evans, Meirick Lloyd Davies a Brian Jones.

2 DATGAN CYSYLLTIAD

Datganodd yr aelodau canlynol gysylltiad personol –

Y Cynghorydd Julian Thompson-Hill – Eitem 8 ar y Rhaglen – gan mai fo yw Aelod Arweiniol Eiddo a bod y tir yn eiddo i'r Cyngor

Y Cynghorydd Tina Jones – Eitem 8 ar y Rhaglen – gan oherwydd bod ganddi berthynas fusnes â Macbrydydd Homes Ltd.

3 MATERION BRYD FEL Y CYTUNWYD GAN Y CADEIRYDD

Ni chodwyd unrhyw faterion brys.

4 COFNODION

Cyflwynwyd cofnodion cyfarfod y Pwyllgor Cynllunio a gynhaliwyd ar 13 Chwefror 2019.

PENDERFYNWYD yn amodol ar yr uchod, cymeradwyo cofnodion y cyfarfod a gynhaliwyd ar 13 Chwefror 2019 fel cofnod cywir.

CEISIADAU AM GANIATÂD I DDATBLYGU (EITEMAU 5 - 8) -

Cyflwynwyd ceisiadau a oedd yn gofyn am benderfyniad y Pwyllgor ynghyd â'r dogfennau

cysylltiedig. Cyfeiriwyd hefyd at y wybodaeth atodol a gyflwynwyd yn hwyr (taflenni glas) a dderbyniwyd ers cyhoeddi'r Rhaglen ac a oedd yn ymwneud â cheisiadau penodol. Er mwyn caniatáu ceisiadau gan aelodau'r cyhoedd i gyflwyno sylwadau, cytunwyd y dylid amrwio trefn y ceisiadau ar y rhaglen.

5 CAIS RHIF 01/2018/0705 PARC GLYN LLEWENI, Ffordd yr Wyddgrug, DINBYCH

Cyflwynwyd cais i ddatblygu 1.3 hectar o dir drwy godi 24 llety aros a gwaith cysylltiedig ym Mharc Glyn Lleweni, Ffordd yr Wyddgrug, Dinbych.

Siaradwr Cyhoeddus –

Nerys Edwards (**YN ERBYN**) - Datganodd bod y cais yn gwrth-ddweud polisi cynllun datblygu lleol PSE12 a'r CDLI presennol, na fyddai'n caniatáu cymeradwyo unrhyw ddatblygiad o'r fath. Mae'r diffyg manylion yn y cynllun busnes yn golygu nad all y pwyllgor wneud penderfyniad gwybodus o ran yr effaith ar yr economi lleol.

Mae hygyrchedd y safle i gludiant cyhoeddus yn parhau i fod yn broblem, a bydd trigolion lleol yn cael eu heffeithio gan y datblygiad a'r cynnydd mewn traffig ar y ffordd fynediad. Nid oes unrhyw ddarpariaeth wedi'i wneud i les a diogelwch ymwelwyr i'r safle.

Mae'r diffyg manylion o ran darpariaeth gwasanaethau cyfleustodau yn golygu nad all y Pwyllgor Cynllunio wneud penderfyniad gwybodus ar effaith yr isadeiledd a'r dyfrhawn. Mae pryderon hefyd o ran lechyd a Diogelwch y safle oherwydd bod y mynediad yn mynd drwy faes glanio gweithredol. Bydd angen i'r Cyngor gynyddu'r monitro er mwyn sicrhau na fydd unrhyw un yn preswyllo'n barhaol ar y safle arfaethedig.

Rodney Witter (**O BLAID**) – Datganodd bod gan y pwyllgor a'r fenter nod gyffredin o ran datblygiadau sy'n cyd-fynd â natur a thai cynaliadwy.

Mae'r parc wedi ei drawsnewid yn dilyn caniatâd i sawl cais cynllunio yn y gorffennol. Yn 1990 caniatâd ar gyfer gleiderau gwynt a achosodd yr RAF i chwilio am safle arall. Bu cais arall i ganiatáu adfer yr hen lwyni Lleweni, i sefydlu parc bychan ar gyfer carafanau. Caniatawyd cais i adfer hen adeiladau i greu pentrefan gydag 17 annedd.

Thema'r cais yw amrywiaeth yr economi lleol, sy'n unol â pholisi'r Sir. Bydd y datblygiad hwn yn caniatáu i'r economi gwledig dyfu, fel y rhai sydd wedi'u cyflawni yn y siroedd cyfagos. Derbyniwyd cefnogaeth gan 56 ymwelydd o blaid y cais. Gall y Cyngor weithredu cyfyngiad deiliadaeth 28 niwrnod i sicrhau nad oes neb yn preswyllo'n barhaol ar y safle.

Trafodaeth Gyffredinol – Mynegodd Aelod Lleol, y Cynghorydd Mark Young bryder gyda diffyg manylder o ran yr hyn fydd yn cael ei ddatblygu gan nad oes achos busnes, a chodwyd y mater nad yw'r cais yn glynu ar y polisi cynllun datblygu lleol PSE12. Ychwanegodd y Cynghorydd Rhys Thomas nad oedd yn gweld rheswm i fynd yn erbyn argymhelliad y swyddog i wrthod y cais.

Eglurwyd bod y Polisi CDLI sydd wedi'i fabwysiadu yn ceisio gwrthwynebu parciau carafanau statig newydd yn y Sir, p'un ai'n ddatblygiadau gwledig neu arfordirol, ac mae'r lletyau aros arfaethedig yn disgyn o fewn diffiniad cyfreithiol o garafán.

Cynnig – Cynigodd y Cynghorydd Mark Young argymhelliad y swyddog i wrthod y cais, ac fe'i heiliwyd gan y Cynghorydd Gwyneth Kensler.

PLEIDLAIS:

CANIATÁU - 0

GWRTHOD - 16

YMATAL - 0

PENDERFYNWYD y dylid **GWRTHOD** y cais yn unol ag argymhellion y swyddogion a nodwyd yn yr adroddiad.

6 CAIS RHIF 44/2018/0855/ PR – TIR I'R DWYRAIN O TIRIONFA, RHUDDLAN, Y RHYL

Derbyniwyd cais mater a gadwyd yn ôl ar gyfer manylion mynediad, ymddangosiad, tirlunio, cynllun a graddfa'r 99 annedd a gyflwynir yn unol ag amod rhif 1 yng nghaniatâd amlinellol cod 44/2015/1075, ar dir i'r dwyrain o Tirionfa, Rhuddlan.

Cynigodd aelod lleol, y Cynghorydd Ann Davies i'r cais gael ei ohirio, ar y sail nad oedd digon o dystiolaeth gan Dŵr Cymru o ran carthffos gyhoeddus yn croesi'r safle. Cafodd y cynnig i ohirio ei eilio gan y Cynghorydd Bob Murray.

Hysbysodd y swyddogion yr aelodau bod y safle yn safle a neilltuwyd, gyda chaniatâd cynllunio amlinellol. Roedd y cais i asesu'r Caniatâd Amlinellol, nid oes y swyddogion wedi derbyn unrhyw wrthwynebiadau gan Dŵr Cymru, corff arbenigol ar systemau draenio. Argymhellodd y swyddogion i beidio â gohirio'r cais.

PLEIDLAIS:

GOHIRIO - 5

PEIDIO Â GOHIRIO - 10

YMATAL - 0

Penderfynodd y pwyllgor i beidio â gohirio'r cais a pharhaodd y drafodaeth.

SIARADWYR CYHOEDDUS -

Pauline Evans (YN ERBYN) – Datganodd nad all isadeiledd Rhuddlan ymdopi â datblygiad o'r maint hwn, yn arbennig y systemau draenio.

Roedd diffyg eglurder ar y cynlluniau o ran mesuriadau o bellter yr anheddau arfaethedig o'r eiddo ar Pentre Lane.

O dan y CDU a'r CDLI mae nifer sylweddol o dai a datblygiadau eraill wedi eu hadeiladu'n Rhuddlan, sy'n mynd yn erbyn anghenion y Sir. Mae Llywodraeth

Cymru wedi goramcangyfrif mudo net yn y Sir ac nid oes angen datblygiad o'r graddfa hwn.

Mae problem traffig difrifol yn Rhuddlan o'r holl drefi yn yr ardal, a byddai'r tai ychwanegol arfaethedig yn cael effaith negyddol ar y broblem traffig presennol. Mae lleoedd mewn ysgolion yn brin.

Stuart Andrew (O BLAID) – Eglurodd bod y cais yn gais mater a gadwyd yn ôl, a bod y safle wedi derbyn caniatâd cynllunio yn y gorffennol, a gwerthwyd y tir gan y Cyngor er mwyn datblygu tai.

O'r 99 annedd arfaethedig, bydd 10 annedd yn fforddiadwy; bydd chwe tŷ dwy ystafell wely; a phedwar eiddo pedair ystafell wely. Bydd ardal chwarae, ynghyd â hanner erw o fan agored wedi'i dirlunio ar gael i'r cyhoedd ei ddefnyddio, a gaiff ei gytuno gan y Cyngor. Byddai cyfraniad ariannol tuag at ysgolion lleol o £384,000, a £77,000 ychwanegol i wella manau gwyrdd agored presennol. Nid oedd unrhyw wrthwynebiad i'r datblygiad gan gyrrff arbenigol.

Trafodaeth Gyffredinol – Canmolodd y Cynghorydd Christine Marston yr ymweliad safle a gynhaliwyd ar 8 Mawrth, eglurwyd bod unrhyw bryderon o ran y bibell carthffosiaeth wedi'u cywiro yn dilyn yr ymweliad.

Siaradodd y Cynghorydd Ann Davies (Aelod Lleol) yn erbyn y cais mater a gadwyd yn ôl gan ddatgan bod gan y trigolion lleol broblemau hir dymor yn erbyn y datblygiad. Mae'r ysgolion lleol ar hyn o bryd yn llawn ac yn methu â derbyn mwy o blant, ac ni ellir datblygu'r ysgol gan ei fod ar dir CADW.

Roedd gan y Cyng. Davies bryderon hefyd o ran y traffig ychwanegol y byddai'r datblygiad yn ei achosi, gan fod problem fawr yn barod o ran traffig yn Rhuddlan. Byddai'r system garthffosiaeth presennol angen ei uwchraddio i reoli'r tai ychwanegol yn Rhuddlan. Amlygwyd maint y tai arfaethedig, gan nad oedd y rhestr dai ar gyfer trigolion yn Rhuddlan yn dangos yr angen am 58 tŷ 4 ystafell wely.

Siaradodd y Cynghorydd Arwel Roberts (Aelod Lleol) yn erbyn y cais hefyd. Byddai'r datblygiad yn cael effaith andwyol ar hunaniaeth y dref, ac effaith negyddol ar yr iaith Gymraeg yn yr ardal. Pwysleisiwyd y pryderon o ran traffig.

Codwyd pryderon gan aelodau am y 58 tŷ 4 ystafell wely arfaethedig. Cwestiynwyd os byddai cerbydau'n gallu defnyddio'r mynediad argyfwng a ddangoswyd.

Mewn ymateb i gwestiynau a sylwadau'r aelodau, dywedodd y swyddogion –

- Bod yr amrywiaeth o anheddau arfaethedig yn cynnwys tai 1, 2, 3 a 4 ystafell wely ac yn bodloni'r cytundeb tai fforddiadwy bod angen i 10% o'r tai fod yn dai fforddiadwy.
- Hysbyswyd yr aelodau y byddai'r datblygwr yn adeiladu 10 annedd yn hytrach na 9, a fydd yn mynd tu hwnt i'r 10% sy'n ofynnol yn y CDLI. Mae'r system ddraenio yn fater i Ddŵr Cymru, y corff sy'n gyfrifol am gapasiti, cysylltiad, rheolaeth a chynnal a chadw isadeiledd draenio. Ni chododd Dŵr Cymru unrhyw bryderon na gwrthwynebiad, yn y cam dyrannu safle, yn y

cam caniatâd cynllunio amlinellol nac fel rhan o'r cynnig materion a gadwyd yn ôl.

- Bydd mynediad newydd i'r safle, bydd y llwybr beiciau yn croesi'r mynediad newydd. Bydd yr arwydd 30mya hefyd yn cael ei symud i gyd-fynd â'r mynediad newydd i'r safle.
- Ni fyddai'r allanfa argyfwng ar gael i gerbydau.

Cynnig – Cynigodd y Cynghorydd Ann Davies, ac eiliwyd gan y Cynghorydd Andrew Thomas y dylid gwrthod y cais ar sail y byddai'r cais yn cael effaith andwyol ar amwynderau, a lles trigolion, a nad all y gwaith carthffosiaeth a draenio presennol ddelio â'r datblygiad arfaethedig.

PLEIDLAIS:

CANIATÁU – 14

GWRTHOD - 1

YMATAL - 0

PENDERFYNWYD y dylid **CYMERADWYO'R** cais yn unol ag argymhellion y swyddogion fel y nodwyd yn yr adroddiad a'r papurau ategol.

7 CAIS RHIF 15/2018/1130/ AD - PARC CARAFANNAU PARC FARM, LLANARMON-YN-IÂL, YR WYDDGRUG

Cyflwynwyd cais ar gyfer codi wal gerrig gydag arwydd hysbysu wedi'i fewnosod, fel estyniad i wal gerrig presennol.

Trafodaeth Gyffredinol – Holodd y Cynghorydd Huw Jones a oes angen i'r arwydd fod yn ddwyieithog. Mewn ymateb, dywedodd swyddogion bod y Canllaw Cynllunio Atodol yn rhoi canllawiau clir y dylai arwyddion fod yn ddwyieithog lle bynnag bosib', ond yn yr achos hwn, mae'r enw'n ddwyieithog yn barod.

Cynnig – Cynigodd y Cynghorydd Huw Jones dderbyn argymhellion y swyddogion i gymeradwyo'r cais, ac eiliwyd hyn gan y Cynghorydd Gwyneth Kensler.

PLEIDLAIS:

CANIATÁU - 15

GWRTHOD – 0

YMATAL - 0

PENDERFYNWYD y dylid **CYMERADWYO'R** cais yn unol ag argymhellion y swyddogion a nodwyd yn yr adroddiad.

8 CAIS RHIF 18/2019/0124/ TP – 11 PARC TYN LLAN, LLANDYRNOG, DINBYCH

Cyflwynwyd cais ar gyfer gwaith i goeden lwyfen a choed sycamorwydden yn ôl Gorchymyn Diogelu Coed yn 11 Parc Tyn Llan, Llandyrnog, Dinbych.

Trafodaeth Gyffredinol - Hysbysodd aelod lleol, y Cynghorydd Merfyn Parry'r pwyllgor nad oedd gan y Cyngor Cymuned unrhyw wrthwynebiad i'r gwaith.

Cynnig – Cynigiodd y Cynghorydd Merfyn Parry dderbyn argymhellion y swyddog i gymeradwyo'r cais, ac eiliwyd hyn gan y Cynghorydd Gwyneth Kensler.

PLEIDLAIS:

CANIATÁU – 16

GWRTHOD – 0

YMATAL - 0

PENDERFYNWYD y dylid **CYMERADWYO'R** cais yn unol ag argymhellion y swyddog a nodwyd yn yr adroddiad.

9 ADRODDIAD GWYBODAETH – DIWEDDARIAD AR APELIADAU CYNLLUNIO

PENDERFYNWYD y dylai'r aelodau nodi'r wybodaeth yn yr adroddiad.

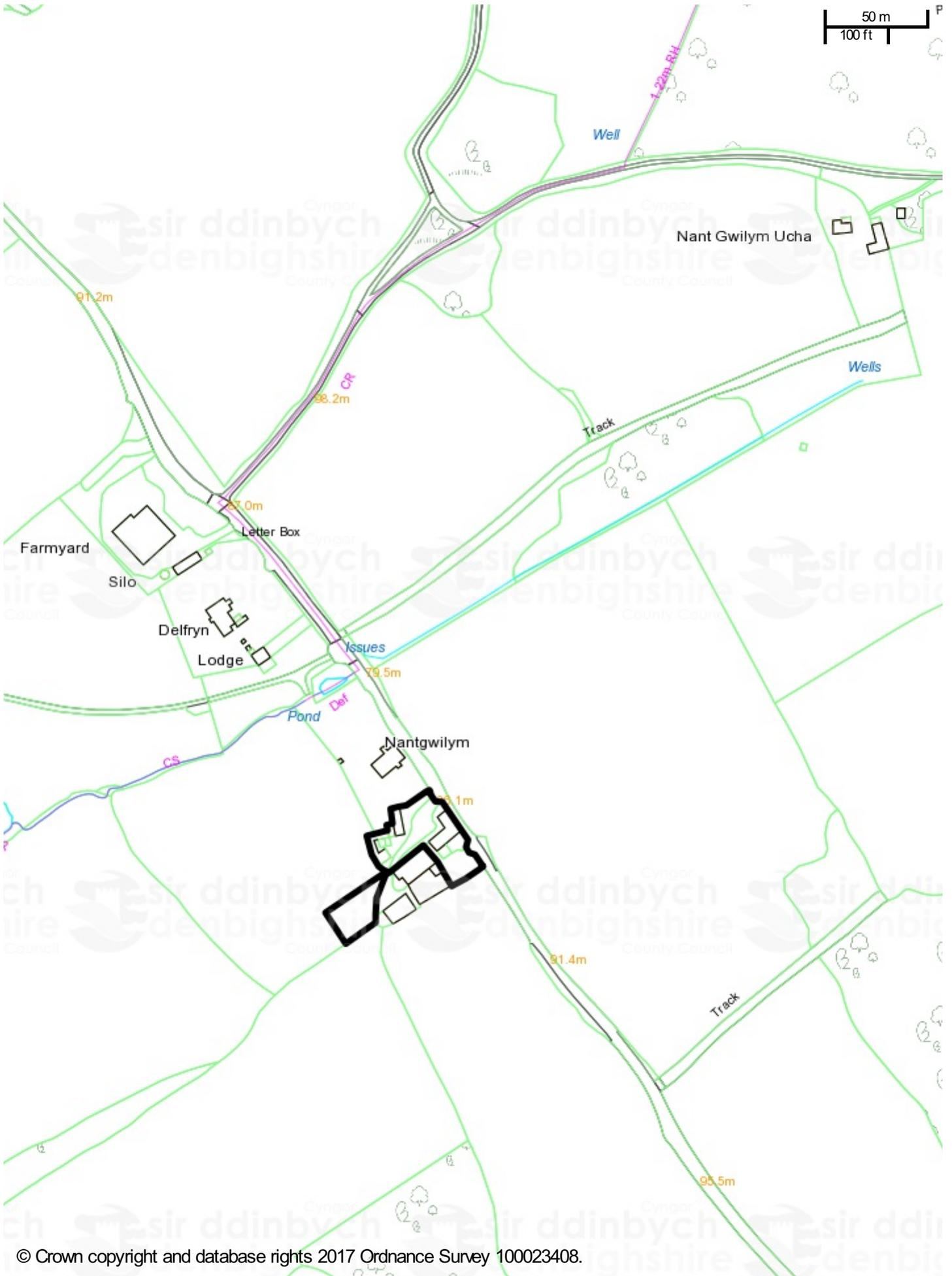
10 ADRODDIAD GWYBODAETH – PROSIECT CYSYLLTIAD GOGLEDD CYMRU

PENDERFYNWYD y dylai'r aelodau nodi'r wybodaeth yn yr adroddiad.

Eitem Agenda 5

WARD:	Tremeirchion
AELOD WARD:	Y Cyngorydd Christine Marston (C)
RHIF Y CAIS:	41/2019/0089/ PF
CYNNIG:	Trawsnewid tai allan i greu 4 uned llety gwyliau, codi llofft ystlumod, gosod tanc septig, newidiadau i drefniadau mynedfa i gerbydau presennol a gwaith cysylltiedig.
LLEOLIAD:	Tai allan yn Fferm Nant Gwilym, Tremeirchion, Llanelwy, LL17 0UG

Mae tudalen hwn yn fwriadol wag



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41/2019/0089

Scale: 1:2500

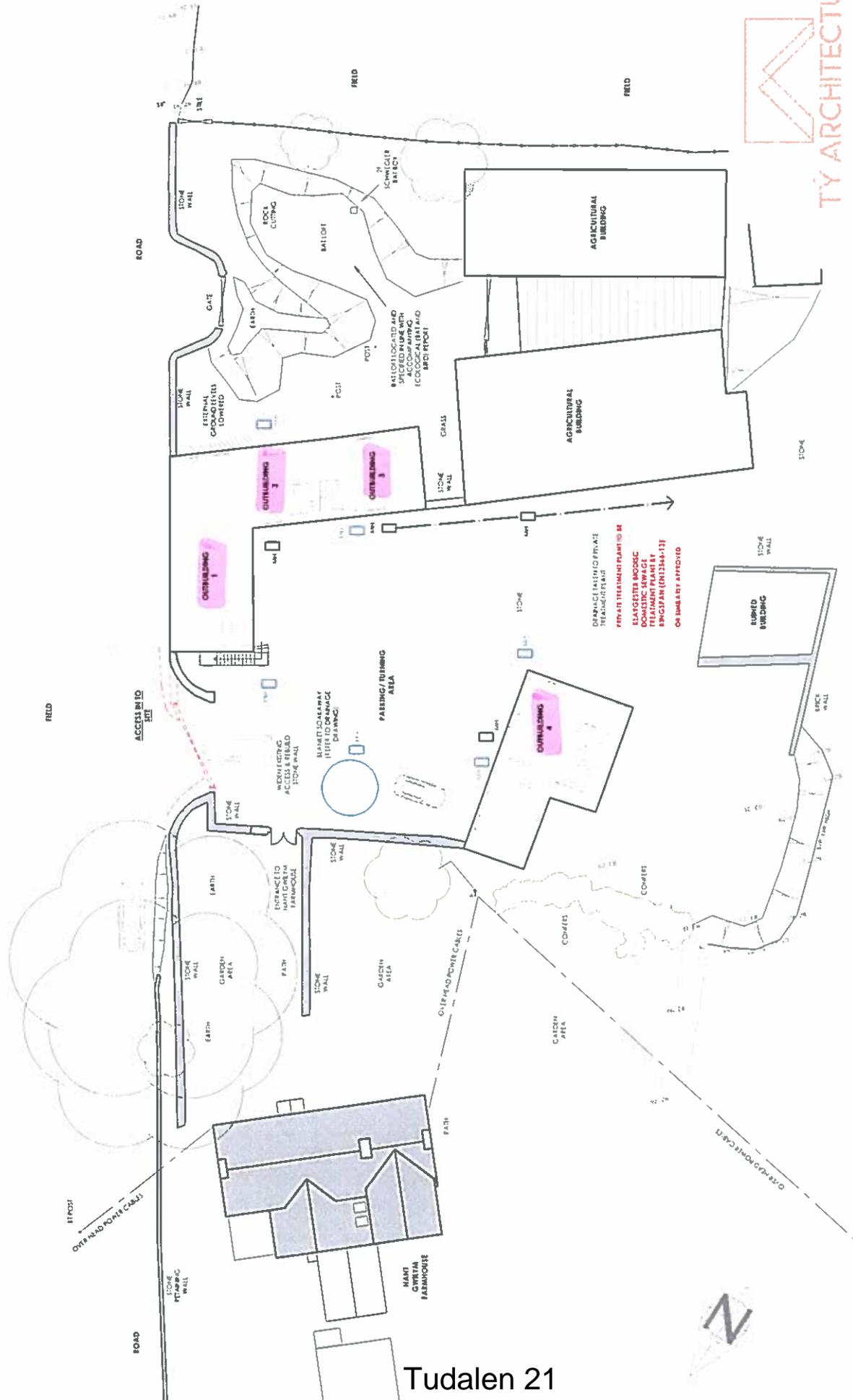
Printed on: 27/3/2019 at 15:29 PM

Tudalen 19

PROPOSED SITE PLAN



Ty Architecture Ltd
 15A, Clewyd Street
 Pwllheli
 Gwynedd
 LL15 1HF
 Tel: 01854 709444
 Mobile: 07833346997
 www.tyarchitecture.co.uk
 info@tyarchitecture.co.uk



Project	PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
Address	HANT GWYLLI, TREMERCHON, LL17 0UG
Client	MR WILLIAMS
Scale	SCALE 1:250 @A3
Drawing	TYW23P01A

DRAINAGE (HATCH) TO PRIVATE TREATMENT PLANT
 PRIVATE TREATMENT PLANT TO BE ELABORATED AS PER DOMESTIC SEWAGE TREATMENT PLANT BY SPIC37/AN (EN13599-1)37
 ON UNILABT APPROVED

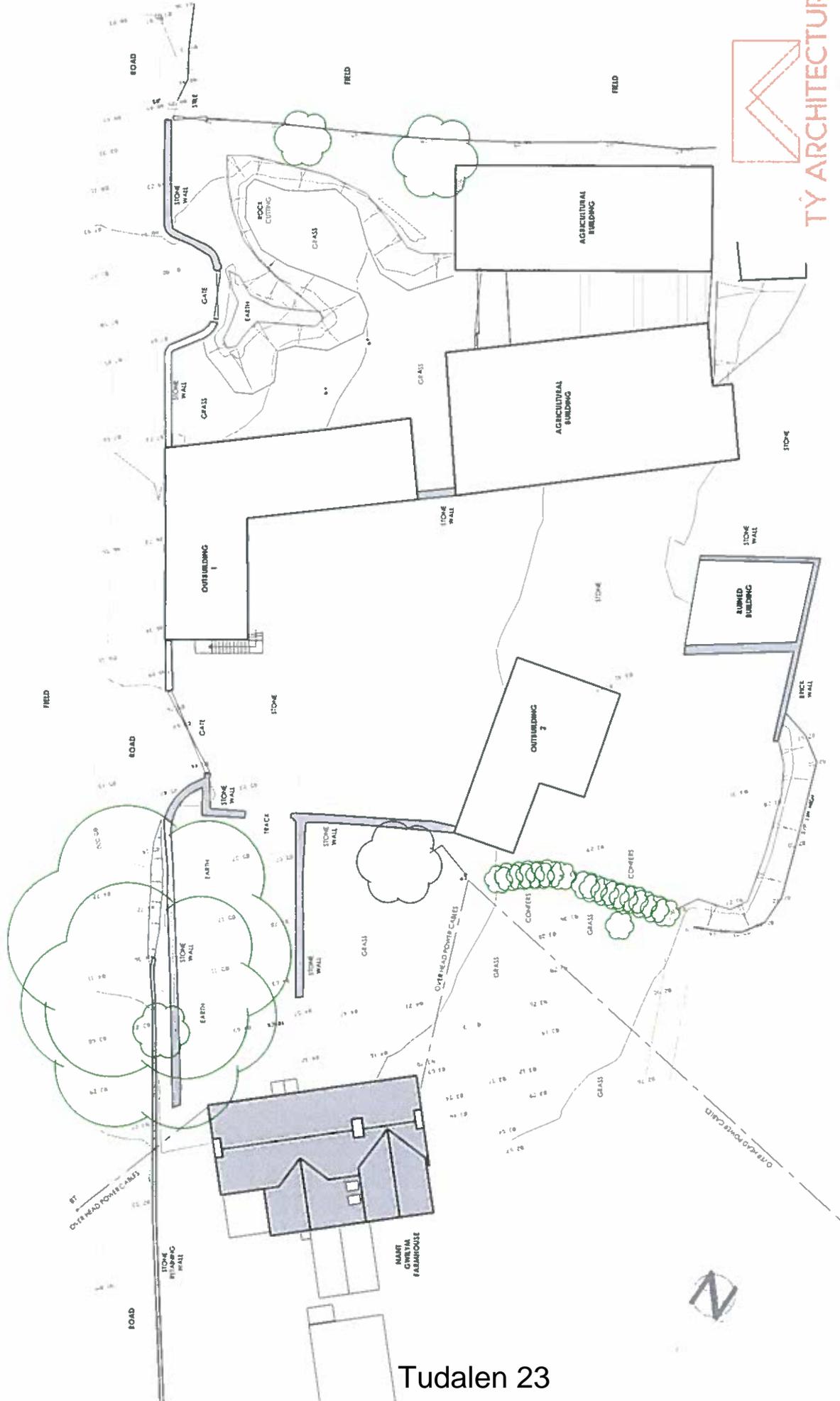
PROPOSED SITE PLAN

EXISTING SITE PLAN

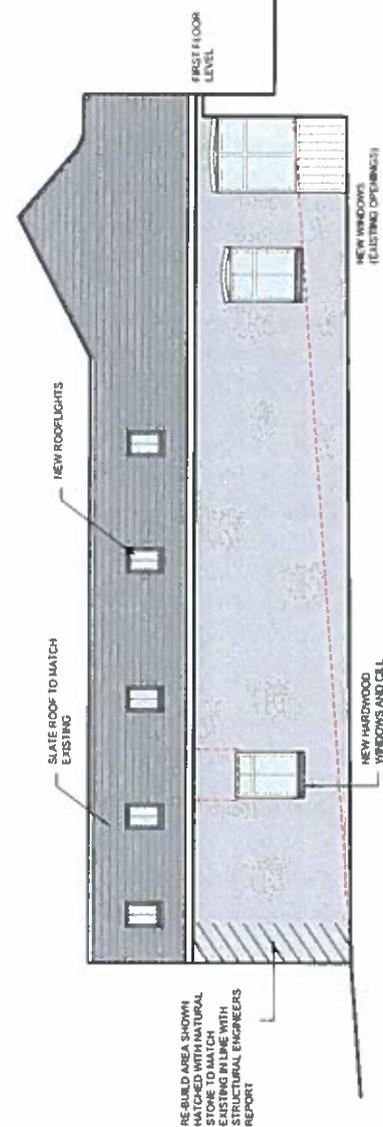
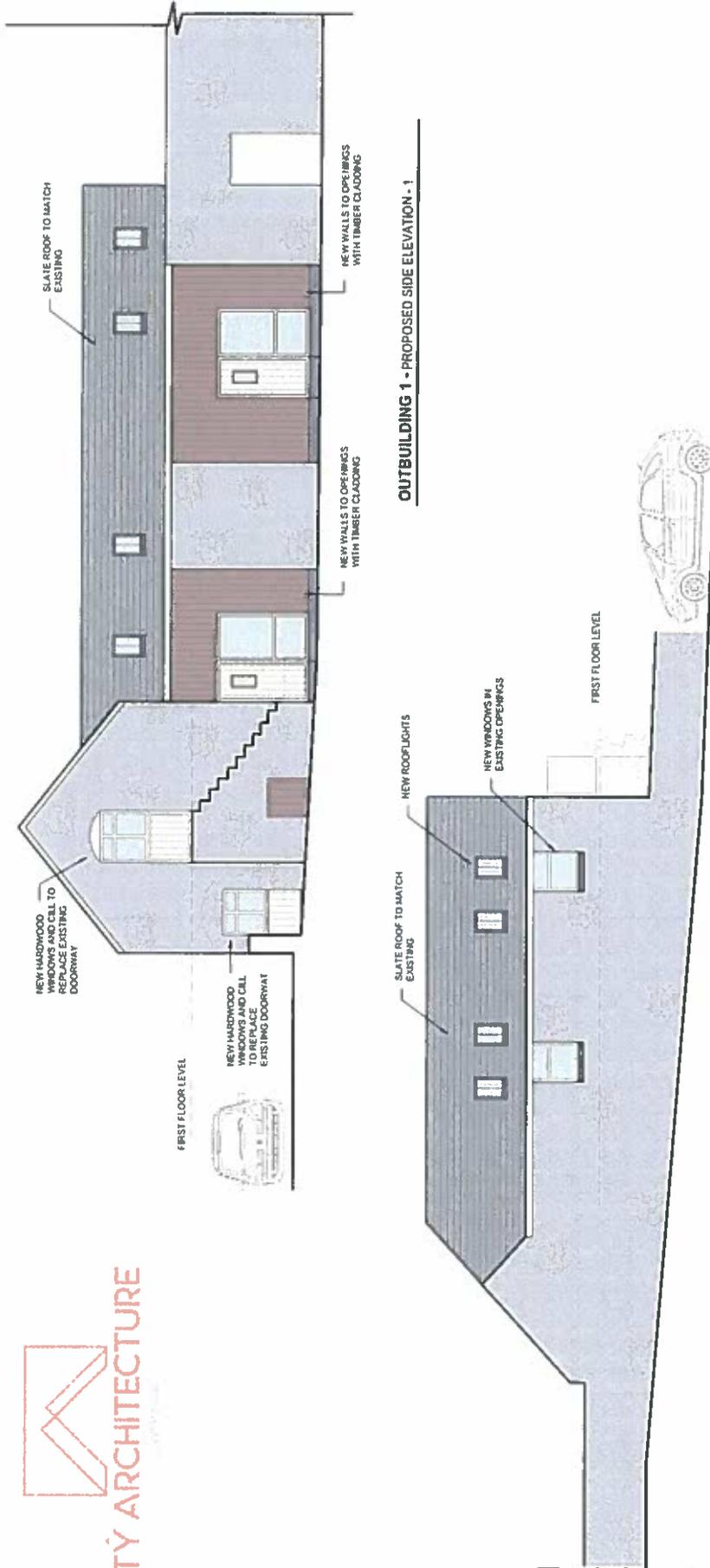


Ty Architecture Cyl
 156, Chwyd Street
 Pwllheli
 Denbighshire
 LL15 1HF

Project: PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
 Address: NANT GWYLYN, TREMERCHON, LL17 0JG
 Client: MR WILLIAMS
 Scale: SCALE 1:250 @A3
 Drawing: TY1715001



AS PROPOSED



OUTBUILDING 1 - PROPOSED SIDE ELEVATION - 2

OUTBUILDING 1 - PROPOSED REAR ELEVATION

- EXTERNAL FINISHES
- EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING
- TIMBER CLADDING (WHERE INDICATED)
- ROOF - NATURAL SLATE TO MATCH EXISTING
- WINDOWS - TIMBER DOUBLE GLAZED - LIGHT MORTAR (RAL 1013) OR SIMILAR
- GREY ROOFLIGHTS (BY VELUX)
- DOORS - COMPOSITE / TIMBER
- RAP/WATER GOOD - GREY UPVC (BY MAPLET OR SIMILAR)
- FASCIA'S - PAINTED TIMBER - LIGHT MORTAR (RAL 1013) OR SIMILAR

RE-BUILD AREA SHOWN MATCHED WITH NATURAL STONE TO MATCH WITH STRUCTURAL ENGINEERS REPORT

Tŷ Architecture Cymru
 15A Gwydd Street
 Ruarin
 Denbighshire
 LL15 1HF

Landline - 01824 702444
 Mobile - 07833346057
 www.tyarchitecture.co.uk
 info@tyarchitecture.co.uk

Project PROPOSED CONVERSION OF OUTBUILDINGS TO HOUSING (E1)

Address HANT GWYLLVA, TREMERCHON LL17 0UC

Client MR WILLIAMS

Scale 1:100 @A3

Drawing: TW172P1.004

AS PROPOSED

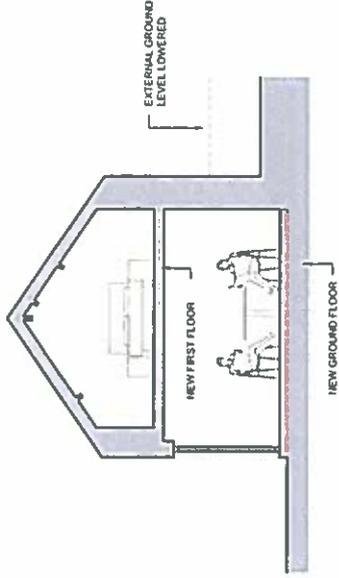


TY Architecture OY
 USA, Chryd Street
 Rushin
 Denbighshire
 LL15 1HF

Landline - 01924 789444
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 www.tyarchitecture.co.uk
 info@tyarchitecture.co.uk

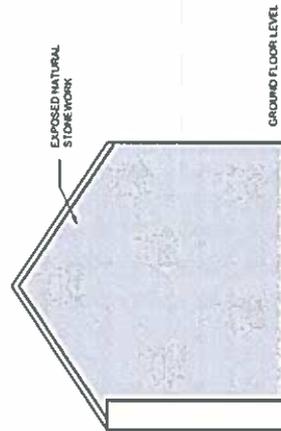


OUTBUILDING 1 - PROPOSED FRONT ELEVATION (1)



OUTBUILDING 1 - PROPOSED SECTION C

AREA OF EXISTING WALL TO BE REBUILT



RE-BUILD AREA SHOWN
 HAS BEEN CHECKED
 AGAINST THE
 EXISTING WALLS WITH
 STRUCTURAL ENGINEERS
 REPORT

GROUND FLOOR LEVEL

OUTBUILDING 1 - PROPOSED FRONT ELEVATION (2)

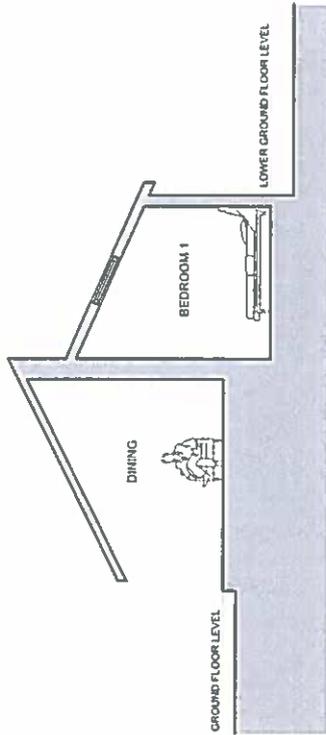
- EXTERNAL FINISHES
- EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING
- ROOF - NATURAL SLATE TO MATCH EXISTING
- WINDOWS - TIMBER DOUBLE GLAZED - LIGHT WOODY (RAL 1013) OR SIMILAR - GREY FROTHUCRES (BY VELUX)
- DOORS - COMPOSITE /TIMBER
- RAINWATER GOODS - GREY UPVC (BY HABLEY OR SIMILAR)
- FASCIAS - PAINTED TIMBER - LIGHT WOODY (RAL 1013) OR SIMILAR

Project	PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
Address	MART GWELYM, TREMERCHON LL17 0UG
Client	MR WILLIAMS
Scale	SCALE 1:100 @A3
Drawing	TYAT3P103

OUTBUILDING 4 AS PROPOSED



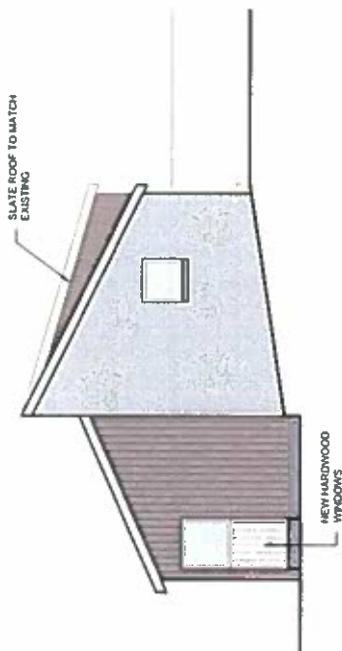
TY ARCHITECTURE
 15A Chelyd Street
 Durham
 DL1 1JF
 Telephone - 01825 702444
 Mobile - 07833540987
 www.tyarchitecture.co.uk
 info@tyarchitecture.co.uk



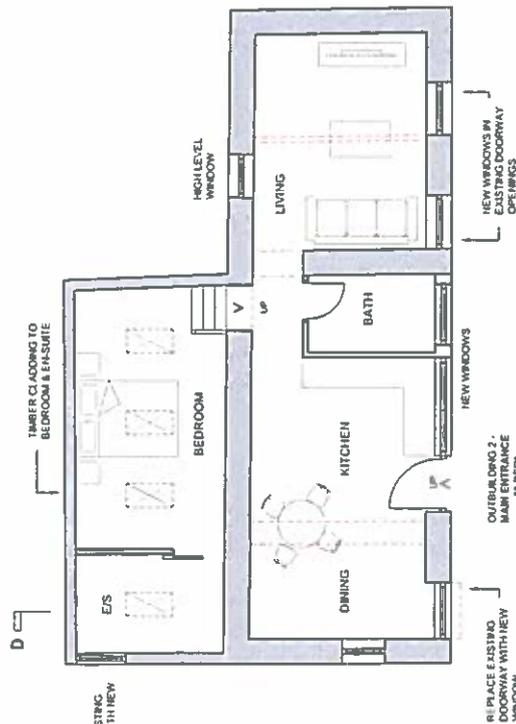
OUTBUILDING 4 - PROPOSED SECTION D



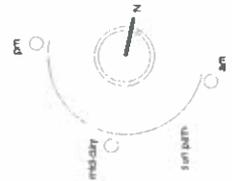
OUTBUILDING 4 - PROPOSED FRONT ELEVATION



OUTBUILDING 4 - PROPOSED SIDE ELEVATION - 1



OUTBUILDING 4 - PROPOSED GROUND FLOOR PLAN

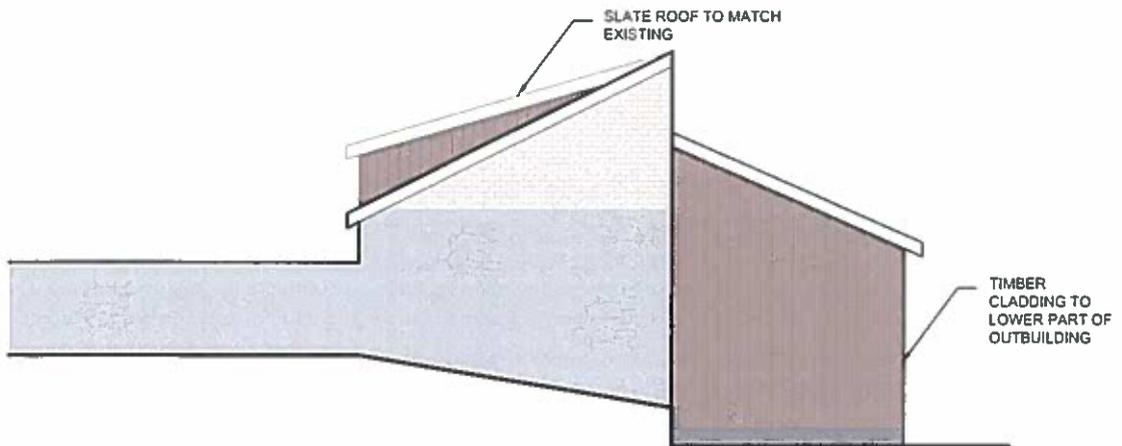


ESTERIAL BRICKS
EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING
INTERNAL WALLS - TIMBER CLADDING (WHERE INDICATED)
FLOOR - NATURAL SLATE TO MATCH EXISTING
WINDOWS - WHITE DOUBLE GLAZED - 1800mm HIGH (BY V&J)
DOORS - COMPOSITE / TIMBER
PARTIALER GOODS - GREY UPVC (BY HARELY OF SNAPE)
FASCIA'S - PAINTED TIMBER - LIGHT GREY (BY HARELY OF SNAPE)

Project	PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
Address	HUNT CROFT, TREMERCHON LL17 0UG
Client	MR WILLIAMS
Scale	SCALE 1:100 (BAJ)
Drawing#	TY173PUBA

OUTBUILDING 4

AS PROPOSED



OUTBUILDING 4 - PROPOSED SIDE ELEVATION 2



OUTBUILDING 4 - PROPOSED REAR ELEVATION



EXTERNAL FINISHES

EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING
- TIMBER CLADDING (WHERE INDICATED)

ROOF - NATURAL SLATE TO MATCH EXISTING

WINDOWS - TIMBER DOUBLE GLAZED - LIGHT IVORY (RAL 1015) OR SIMILAR
- GREY ROOFLIGHTS (BY VELUX)

DOORS - COMPOSITE /TIMBER

RAINWATER GOODS - GREY UPVC (BY MARLEY OR SIMILAR)

FASCIA'S - PAINTED TIMBER - LIGHT IVORY (RAL 1015)OR SIMILAR

Project PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
Address NANT GWILYM, TREMERCHION, LL17 0UG
Client MR WILLIAMS
Scale SCALE 1:100 @A4

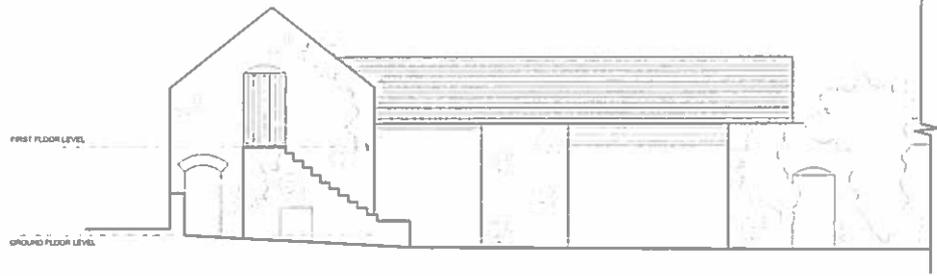
☎ Landline - 01824 702444
📱 Mobile - 07833340997
🌐 www.tyarchitecture.co.uk
✉ info@tyarchitecture.co.uk

🏠 Ty Architecture Cyf
15A Cwylid Street
Ruthin
Denbighshire
LL15 1HF

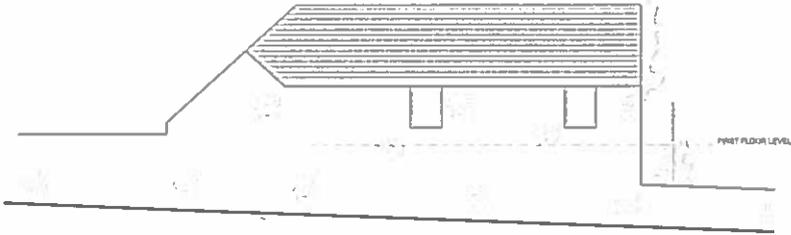
Drawing:- TY/473/PL06A

Tudalen 33

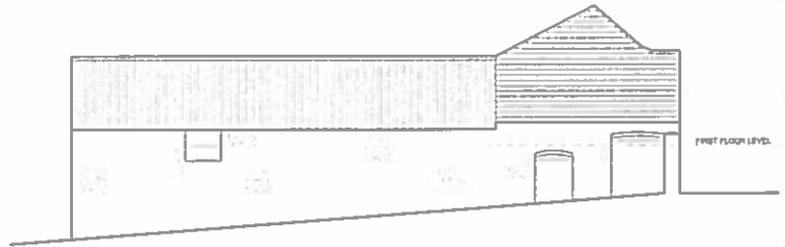
EXISTING ELEVATIONS



OUTBUILDING 1 - EXISTING SIDE ELEVATION - 1



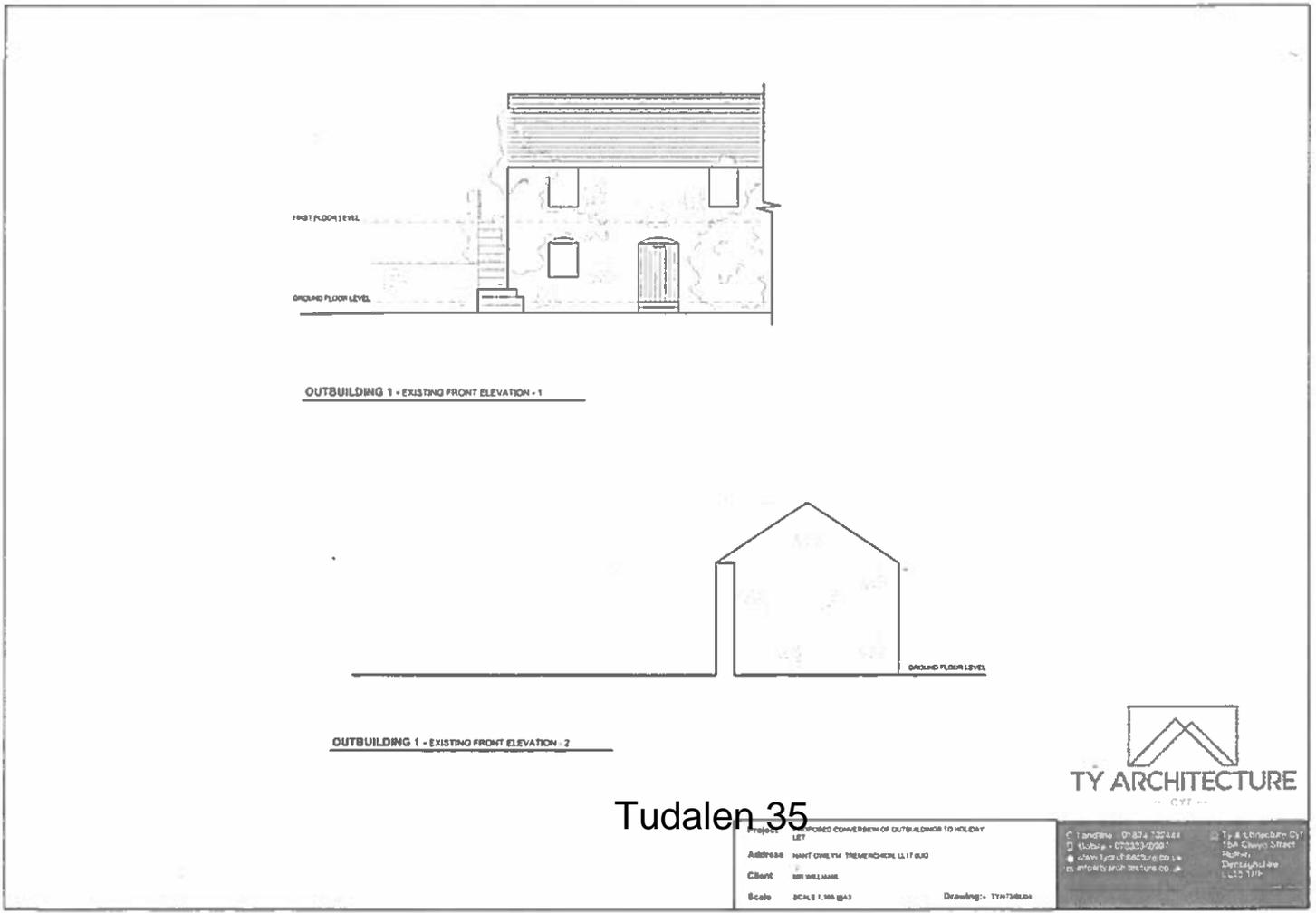
OUTBUILDING 1 - EXISTING REAR ELEVATION



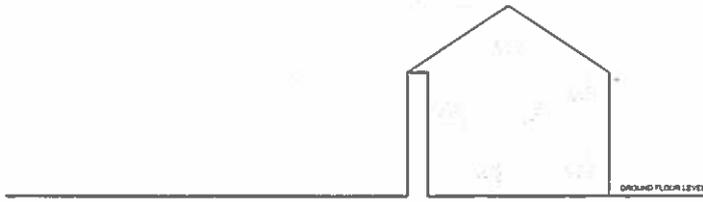
OUTBUILDING 1 - EXISTING SIDE ELEVATION - 2

Project: PROPOSED CONVERSION OF OUTBUILDING TO HOLIDAY LET
 Address: NANT CHEW Tŷ TREMERCHON, LL17 8JG
 Client: MR & MRS JONES
 Scale: SCALE 1:100 @A3 Drawing: TY1706/01

TY ARCHITECTURE
 54 CANNON STREET
 LONDON EC4A 3DF
 TEL: 020 7333 2007
 WWW.TYARCHITECTURE.CO.UK



OUTBUILDING 1 - EXISTING FRONT ELEVATION - 1



OUTBUILDING 1 - EXISTING FRONT ELEVATION - 2



Project: PROPOSED CONVERSION OF OUTBUILDING TO HOLIDAY LET
 Address: NANT CHEW Tŷ TREMERCHON, LL17 8JG
 Client: MR WILLIAMS
 Scale: SCALE 1:100 @A3 Drawing: TY1706/04

TY ARCHITECTURE
 54 CANNON STREET
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 TEL: 020 7333 2007
 WWW.TYARCHITECTURE.CO.UK

WARD : Tremeirchion

WARD MEMBER: Councillor Christine Marston (C)

APPLICATION NO: 41/2019/0089/ PF

PROPOSAL: Conversion of outbuildings to form 4 no. holiday let accommodation units, erection of bat loft, installation of a septic tank, alterations to existing vehicular access arrangements and associated works

LOCATION: Outbuildings at Nant Gwilym Farm Tremeirchion St Asaph LL17 0UG

APPLICANT: Ms & Mr N & D Donohoe & Williams

CONSTRAINTS: PROW

PUBLICITY UNDERTAKEN: Site Notice - Yes
Press Notice - No
Neighbour letters - Yes

REASON(S) APPLICATION REPORTED TO COMMITTEE:

Scheme of Delegation Part 2

- Recommendation to grant / approve – Town / Community Council objection

CONSULTATION RESPONSES:

BODFARI COMMUNITY COUNCIL

“Bodfari Community Council recommend refusal on the grounds of access. Referring to the Planning Support Statement supplied:

5.31 We disagree that the access provides an adequate level of visibility onto the highway and believe that the proposal underestimates the current level of movements on this stretch of road.

5.32 We disagree that change of use from agricultural to holiday lets would reduce the level of traffic movements, and would in fact greatly increase them.

5.33 We disagree that the highway at this point has sufficient capacity to accommodate the vehicle movements generated by the proposal, and believe that the proposal would adversely affect safety.

5.34 The proposal therefore does not comply with Chapter 4 of PPW and Policy RD1 as the proposed access arrangements are unsuitable for the nature of the site and the road serving it.

5.35 We disagree that the proposal provides adequate parking, and believe that the parking requirement has been underestimated.

There are also concerns regarding an increase in light pollution in a designated ‘Dark Skies’ area.”

**CLWYDIAN RANGE AND DEE VALLEY AREA OF OUTSTANDING NATURAL BEAUTY
JOINT ADVISORY COMMITTEE**

“Although just outside the AONB, Nant Gwilym Farm is an attractive group of traditional stone buildings which contribute to the character and appearance of the protected landscape.

Subject to the planning authority being satisfied that the structural condition of the buildings is suitable for conversion and the County Ecologist is content with the bat mitigation proposals, the Joint Committee has no objection to this sensitively designed scheme to conserve these disused and dilapidated buildings by bringing them back into a productive use which will benefit tourism in the AONB.

The committee would recommend that all roof lights should be conservation style units and favours a natural, weathered finish for the timber cladding. No details of external lighting have been provided, but a condition should be attached requiring details to be submitted to ensure it is carefully designed to conserve the AONB’s dark sky.”

NATURAL RESOURCES WALES

No objection, but comment on detailed matters as below:

European Protected Species

As this is a lower risk case for bats, NRW consider the development is not likely to be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in its natural range.

All avoidance and mitigation measures described in the ecology report must be undertaken.

Designated Landscapes

The site is immediately adjacent to the Clwydian Range and Dee Valley AONB.

NRW have no in-principle issue with the proposal, as it largely maintains the rural character of the lane and the western edge of the AONB, however advice is offered on where the proposal could be improved:

- Suspect that highway sightline requirements to the south-east of the site entrance cannot be met due to restricted views caused by the roadside stone barn.
- The extent of parked cars and hard paving within the courtyard would be particularly apparent as people pass the site. Retaining a 2m wide strip of lawn or planted edge along the northern stone wall enclosure to the courtyard, with a gap for the entrance to Nant Gwilym farmhouse, would help to retain some rural qualities within the site. A minor adjustment to the layout plan and the location of the soakaway would be required to incorporate this before the plan is approved.
- Fastigate birch or fastigate yew trees could be planted either side of the main entrance to help close view lines into the site – this could be shown simply on the layout plan (minor adjustment to the location of one manhole cover) with implementation made a condition of any approval.
- Bin stores need to be planned for, to avoid visual clutter to the side of the road or within the courtyard area.

CLWYD POWYS ARCHAEOLOGICAL TRUST

Information held within the regional Historic Environment Record indicates the proposals will affect 19th century stone barn buildings that are not recorded within the Historic Environment Record. The buildings retain elements of their original layout with internal and external features that are of local architectural significance.

Recommend a Photographic Survey is carried out prior to commencement of works in order to preserve a record of this building, to be secured by a pre-commencement condition.

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

Highways Officer:

Notes that the existing access will be improved as part of the proposals. Although the visibility splays do not meet standards laid out in TAN 18, consideration has been given to the existing use as a farm and the likely vehicle movements associated with this operation in addition to the low traffic volumes on the highway, and therefore it is not considered there are any highway safety related issues arising from the development. Has no objection to the proposals.

Footpaths Officer:

Public Footpath 28 (Bodfari Community) abuts the planning area, and needs to be safeguarded. Suggests addition of notes to applicant.

Pollution Protection Officer:

Following confirmation that the proposal would connect to mains, has no further comments to make.

Ecologist:

No response received at the time of writing the report.

RESPONSE TO PUBLICITY: No public representations received at time of drafting report

EXPIRY DATE OF APPLICATION: 08/04/2019

REASONS FOR DELAY IN DECISION (where applicable):

- awaiting consideration by Committee

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

- 1.1.1 The proposal is for the conversion of traditional stone agricultural outbuildings to four holiday let units, alterations to the vehicular access and associated development, as shown on the plans at the front of the report.
- 1.1.2 Accommodation would be arranged as follows:
 - 1.1.2.1.1. Outbuilding 1 is proposed to be converted to a two storey two bed unit;
 - 1.1.2.1.2. Outbuilding 2 is proposed to be converted to single storey one bed unit;
 - 1.1.2.1.3. Outbuilding 3 is proposed to be converted to a two storey one bed unit;
 - 1.1.2.1.4. Outbuilding 4 is proposed to be converted to a split level one bed unit.
- 1.1.3 No extensions are proposed as part of the conversion scheme. Existing window and door openings are proposed to be retained and in some cases altered. Existing voids providing access to the outbuildings are proposed to be filled with timber clad walls within new doors and window openings. Roof lights are proposed to both roof pitches to outbuildings 1 – 3.
- 1.1.4 External walls are in natural stone, with timber cladding to new elevational sections. The pitched roofs are in natural slate.
- 1.1.5 The plans state windows would be timber framed double glazed units to be finished in light ivory and roof lights would be grey Velux rooflights. Fascias would be painted timber and rainwater goods would be grey uPVC.
- 1.1.6 The existing farm access is proposed to be utilised to serve the development, and alterations are proposed to improve visibility splays at the point of entry onto the road in either direction by the repositioning of the stone boundary wall close to the access.
- 1.1.7 Seven parking spaces are proposed within the central courtyard.
- 1.1.8 It is proposed that foul water is discharged to a new private treatment plant and surface water drainage would discharge to a soakaway.
- 1.1.9 A wooden bat loft is proposed within the development site as a mitigation measure.
- 1.1.10 The application is supported by a Bat and Nesting Bird Report, a Structural Inspection Report, percolation test results and soakaway details, and details of the proposed private treatment plant.

1.2 Description of site and surroundings

- 1.2.1 The site is located in an open countryside location along the B5429 between Bodfari and Tremeirchion.
- 1.2.2 It is occupied by a group of traditional stone agricultural outbuildings arranged around a central courtyard, which are adjacent to the residential curtilage of the Nant Gwilym dwelling.
- 1.2.3 There is an existing farm access serving the site off the public highway.

1.3 Relevant planning constraints/considerations

- 1.3.1 The site is outside of any development boundary defined in the Local Development Plan

1.3.2 The site is immediately adjacent to, but outside the boundary of the Clwydian Range and Dee Valley Area of Outstanding Natural Beauty (AONB).

1.3.3 The site is within the Vale of Clwyd Historic Landscape.

1.3.4 A Public Right of Way runs through the application site.

1.4 Relevant planning history

1.4.1 Planning permission was granted in 2018 for extensions and alterations to the Nant Gwilym dwelling.

1.5 Developments/changes since the original submission

1.5.1 The agent has confirmed the development has a connection to the mains water supply, and therefore a private water supply is not required.

1.6 Other relevant background information

1.6.1 There is a cabin / chalet in situ at the site which appears to be located within the residential curtilage of the dwelling. Officers understand this is temporary accommodation which is being used for residential purposes whilst the consented works are undertaken to the dwelling.

2. DETAILS OF PLANNING HISTORY:

2.1 41/2018/0943. Erection of extensions and alterations to dwelling. Granted 04/12/2018.

3. RELEVANT POLICIES AND GUIDANCE:

The main planning policies and guidance are considered to be:

3.1 Denbighshire Local Development Plan (adopted 4th June 2013)

Policy PSE4 – Re-use and adaptation of rural buildings in open countryside

Policy PSE5 – Rural economy

Policy VOE1 - Key areas of importance

Policy VOE2 – Area of Outstanding Natural Beauty and Area of Outstanding Beauty

Policy VOE5 – Conservation of natural resources

Policy VOE6 – Water management

Policy ASA3 – Parking standards

3.2 Supplementary Planning Guidance

Supplementary Planning Guidance Note: Clwydian Range and Dee Valley Area of Outstanding Natural Beauty

Supplementary Planning Guidance Note: Conservation and Enhancement of Biodiversity

Supplementary Planning Guidance Note: Parking Requirements In New Developments

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Space Standards

Supplementary Planning Guidance Note: Re-use and adaptation of rural buildings

Supplementary Planning Guidance Note: Trees & Landscaping

3.3 Government Policy / Guidance

Planning Policy Wales (Edition 10) December 2018

Development Control Manual November 2016

Technical Advice Note (TAN) 5: Nature conservation and planning

Technical Advice Note (TAN) 6: Planning for sustainable rural communities

Technical Advice Note (TAN) 12: Design

Technical Advice Note (TAN) 18: Transport

Technical Advice Noe (TAN) 24: The Historic Environment

3.4 Other material considerations

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned. The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

- 4.1.1 Principle
- 4.1.2 Visual amenity and landscape character / Impact on the AONB
- 4.1.3 Residential amenity
- 4.1.4 Ecology
- 4.1.5 Drainage
- 4.1.6 Highways (including access and parking)
- 4.1.7 Historic Environment

4.2 In relation to the main planning considerations:

- 4.2.1 Principle

LDP Policy PSE 4 "Re-use and adaptation of rural buildings in open countryside" allows for conversions where the scheme makes a positive contribution to the landscape, any architectural features of merit are retained. In relation to residential conversions, the policy requires that it is demonstrated that an employment use is not viable, and the resulting dwelling is affordable for local needs. It is considered that a proposal of this nature would be acceptable in principle subject to assessment of its impacts and compliance with the relevant criteria of Policy PSE 4.

Policy PSE 5 reflects the general intent of the Local Development Plan to help sustain the rural economy, through the support of tourism and commercial development, including new build development, subject to meeting detailed criteria relating to the character and distinctive qualities of the local landscape.

The Re-use and adaptation of rural buildings SPG amplifies LDP Policy PSE4 and at 6.1 states 'The Council would consider conversion to holiday accommodation or tourist facilities as an economic use.'

The application is supported by a Structural Inspection Report which confirms the buildings are structurally sound and capable of conversion.

The proposal to convert the buildings to holiday let accommodation is therefore considered to be acceptable in principle under policy PSE4 and PSE5. The use would need to be restricted to holiday lets in this instance as it is unlikely that a proposal to create four residential units would meet basic residential amenity and space standard tests, including a need to provide appropriate private amenity space.

- 4.2.2 Visual amenity and landscape character / Impact on AONB

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the

neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The visual amenity and landscape impacts of development should therefore be regarded as a potential material consideration.

Policy VOE 2 requires assessment of the impact of development within or affecting the AONB and AOB, and indicates that this should be resisted where it would cause unacceptable harm to the character and appearance of the landscape and the reasons for designation.

The AONB Committee has raised no objection to the proposal and considers the proposal to be a sensitive conversion scheme, but has noted control should be applied to the finish of timber cladding proposed and to external lighting to ensure it is carefully designed to conserve the AONB's dark sky.

The Re-use and adaption of rural buildings SPG and the Clwydian Range and Dee Valley AONB SPG provide further guidance on design and detailing.

NRW have raised no objection to the proposal, however comments are provided in an advisory capacity on measures which could improve the scheme, including landscaping and additional planting which could be incorporated into the scheme.

No extensions are proposed to the outbuildings. Elevational changes are restricted to alterations to existing and some new window and doors. Existing voids are proposed to be filled in with new timber clad walls which allows the existing form of the building to be clearly read. The addition of new windows and doors are kept to a minimum, and proposed window and door detailing is considered to be sympathetic in design, proportions and materials.

Roof lights are proposed in the roof pitches of outbuildings 1 – 3. The addition of roof lights is not out of accord with the character of the building and conditions can be applied to ensure they are flush fitting with frames of a colour to match the slate roof.

Whilst NRW have provided comment on landscaping and planting which could be incorporated in to the scheme, they have not raised an objection on visual amenity or landscaping grounds, and Officers do not consider there is sufficient justification in this instance to require alterations to the layout or require additional landscaping to be incorporated into the scheme.

Officers consider conditions could be applied to control the detailing of the roof lights, finish of the timber cladding, external lighting and bin provision / amenity area.

Subject to necessary planning conditions being applied, Officers conclude the proposal would not adversely impact on visual amenity or landscape character.

4.2.3 Residential amenity

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The residential amenity impacts of development should therefore be regarded as a potential material consideration.

No representations have been received raising concerns on residential amenity grounds.

The proposed holiday let units would just exceed the Council's internal floor space standards as set out in the Residential Space Standards SPG, however there is no dedicated outdoor space for each of the individual units.

The proposed units would also be close to the two agricultural buildings which are proposed to be retained, which could potentially cause noise and disturbance.

However, the proposal is not to convert the outbuildings into residential dwelling houses, but rather to convert the outbuildings into a small complex of holiday let accommodation, and accordingly it is not considered necessary to require the same level of amenity as a residential conversion.

An acceptable setback would be maintained between the proposed holiday let units and the existing dwelling and the neighbouring property, and therefore the proposal would not adversely impact on amenity of residential properties.

In conclusion, whilst the proposed holiday units would not provide the levels of privacy and amenity required for a residential conversion, this would not preclude a holiday accommodation use. Planning conditions can be applied to restrict the use and occupancy of the units to ensure they are not used as units of residential accommodation on amenity grounds. On this basis, Officers conclude the proposal would not unacceptably impact on existing residential amenity, and adequate standards of amenity could be achieved for occupiers of holiday let units..

4.2.4 Ecology

Policy VOE 5 requires due assessment of potential impacts on protected species or designated sites of nature conservation, including mitigation proposals, and suggests that permission should not be granted where proposals are likely to cause significant harm to such interests.

This reflects policy and guidance in Planning Policy Wales (PPW 10) (Section 5.2), TAN 5 and the Conservation and Enhancement of Biodiversity SPG (2016), which stress the importance of the planning system in meeting biodiversity objectives through promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.

Natural Resources Wales have raised no objection to the proposal, subject to conditions being applied to ensure all avoidance and mitigation measures described in the ecology report are undertaken.

The application is supported by a bat and bird report. In summary the bat activity detected was that of emerging bats from two of the buildings which are going to be affected by the proposals. Other activity was that of foraging and commuting bats. The foraging was observed to the rear of the buildings.

The bat and bird report confirms an EPS licence from NRW would be required for the scheme, and sets out avoidance and mitigation measures to be applied to protect the favourable conservation status of bats, which includes the provision of a bat loft on land adjacent to the outbuildings.

Officers consider planning conditions could be imposed to ensure the recommendations of the bat and bird survey are carried out in full, and subject to such conditions being applied, Officers would conclude the proposal would not adversely impact on the favourable conservation status of bats.

4.2.5 Drainage

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The drainage and flood risk impacts of development should therefore be regarded as a potential material consideration.

A drainage plan has been provided which shows surface water would discharge to a new soakaway and foul drainage to discharge to a new private treatment plant.

Percolation test results have been provided to demonstrate ground conditions are suitable for soakaways and details have been provided regarding the general arrangement of the proposed soakaway and of the proposed private foul water drainage.

Given the location of the development, Officers are satisfied that a private treatment plant is acceptable in this location and sufficient details have been provided regarding the proposal means of surface water drainage. Accordingly, the proposed drainage details are considered to be acceptable.

4.2.6 Highways (including access and parking)

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The highway impacts of development should therefore be regarded as a potential material consideration.

Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards. These policies reflect general principles set out in Planning Policy Wales (PPW) and TAN 18 – Transport, in support of sustainable development.

The Parking Standards in New Developments SPG sets out the maximum parking standards for new developments.

The Community Council have raised an objection to the proposal on highway / access grounds.

Highways Officers have acknowledged the proposed access arrangements would not meet the standards laid out in TAN18, however it is noted the existing farm access would be improved as part of the proposals, and having considered the former use of the site as a farm and the likely vehicle movements associated with the proposed development coupled with the low traffic volumes on the highway, Highways Officers have concluded there would not be any highway safety related issues arising from the development and accordingly have raised no objection to the proposals.

The site is occupied by redundant farm buildings and is served by an existing farm access off the public highway.

The section of the public highway which runs along the site is subject to the national speed limit, however having regard to the rural nature of the road, it is unlikely traffic would travel at 60mph along this section of the road, and actual speed limits are likely to be lower.

Highways Officers have advised traffic volumes on the public highway are low.

The proposal is for three one-bed units of accommodation and one two-bed unit of accommodation. Assuming a ratio of one vehicle per bedroom, Officers would estimate there would be a maximum of five vehicles moving to and from the proposed development at any given time.

A section of the existing boundary wall to the south of the access is proposed to be repositioned to improve visibility, however Officers note the recommended visibility

splays set out in TAN18 could not be achieved along views to the south in this case given that Outbuilding 1 abuts the highway and would therefore obstruct the sight line in this direction.

To the north, the existing stone boundary wall is proposed to be retained. Officers note the wall is a low level wall, and whilst there are trees along the boundary within the residential curtilage, Officers consider views to the north would not be unduly interrupted.

The site is served by an existing agricultural access and Officers consider the fallback position is of some relevance, as the buildings could be used again for agricultural purposes without the need for a planning application, and the typical vehicular movements associated with an agricultural use need to be taken into consideration.

Highways Officers have taken into account the existing agricultural use of the access, the low traffic volume on the public highway and the proposed improvements to the access, and have concluded that whilst the access arrangements would not meet the standards laid out in TAN18, the proposal would not result in any highway safety related issues and therefore have raised no objection to the proposal.

Notwithstanding the concerns raised by the Community Council, Officers consider significant weight should be given to the professional views of Highways Officers. Having regard to the fallback position, the nature and scale of the development proposed and the contextual considerations set out above, Officers do not consider the failure to fully comply with the visibility standards laid out in TAN18 alone is sufficient grounds to refuse the planning application on access and highway safety concerns.

The Parking Standards in New Developments SPG does not include a specific parking standard for self-contained holiday lets, however for hotels, one parking space is required per room, and for dwellings one parking space is required per bedroom. In this case, seven parking spaces are proposed to serve the four units, which would exceed the equivalent standards for hotels and dwellings, and accordingly Officers are satisfied the parking provision is sufficient.

Whilst respecting the views of the Community Council and acknowledging the proposed development would not meet the visibility standards laid out in Annex B of TAN18, having regard to professional views of Highway Officers, the presence of an existing agricultural access, the low traffic volumes along the public highway and the nature and scale of the proposed development, it is not adjudged the proposed access arrangements would result in a level of harm to highway safety to warrant a refusal of planning permission on these grounds. Officers however consider it would be prudent to impose a condition to require the improvements to the access to be completed before the development first comes into use.

4.2.7 Historic Environment

Local Development Plan Policy VOE1 seeks to protect sites of built heritage from development which would adversely affect them, and requires that development proposals should maintain and wherever possible enhance them for their characteristics, local distinctiveness and value to local communities.

Planning Policy Wales (PPW 10), Section 6 and Section 4 of TAN 24 provide further guidance in relation to the historic environment.

CPAT have advised information held within the regional Historic Environment Record indicates the proposals will affect 19th century stone barn buildings that are not recorded within the Historic Environment Record, and note the buildings retain elements of their original layout with internal and external features that are of local architectural significance. To ensure a record of the building is preserved for the historic record, CPAT have requested a condition is imposed ensure a Photographic

Survey is carried out prior to commencement of works, which is in accordance with guidance in TAN24.

Subject to the imposition of a necessary condition, Officers are satisfied the proposal would not have a detrimental impact on the historic environment.

Other matters

Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

5. SUMMARY AND CONCLUSIONS:

5.1 The proposal is for the conversion of traditional agricultural buildings to a small complex of holiday let units, which Officers consider would represent an acceptable use, and therefore the principle of the proposal is in accordance with relevant policies.

5.2 Notwithstanding the concerns raised by the Community Council, having regard to the existing agricultural use of the vehicular access, the proposed improvements to the access, the low traffic volumes along the public highway and the views of the Council's Highways Officer, the proposal is not adjudged likely to give rise to an unacceptable impact on highway safety to warrant a reason for refusal on these grounds.

5.3 Subject to the imposition of necessary planning conditions, the proposal is considered to be acceptable and is recommended for grant.

RECOMMENDATION: GRANT- subject to the following conditions:-

1. The development to which this permission relates shall be begun no later than 17th April 2024.
2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission
 - (i) Existing Site Plan (Drawing No. SU01) - Received 31 January 2019
 - (ii) Existing Floor Plans (Drawing No. SU02) - Received
 - (iii) Existing Elevations (Drawing No. SU06) - Received 31 January 2019
 - (iv) Existing Elevations (Drawing No. SU05) - Received 12 February 2019
 - (v) Existing Elevations (Drawing No. SU04) - Received 31 January 2019
 - (vi) Existing Sections (Drawing No. SU03) - Received 31 January 2019
 - (vii) Proposed Drainage Plan - Received 31 January 2019
 - (viii) Proposed Site Plan (Drawing No. PL01A) - Received 12 February 2019
 - (ix) Proposed Floor Plans (Drawing No. PL02A) - Received 12 February 2019
 - (x) Proposed Elevations (Drawing No. PL04A) - Received 12 February 2019
 - (xi) Proposed Elevations and Sections (Drawing No. PL03) - Received 12 February 2019
 - (xii) Proposed Floor Plans and Elevations (Drawing No. PL05A) - Received 12 February 2019
 - (xiii) Proposed Elevations (Drawing No. PL06A) - Received 12 February 2019
 - (xiv) Proposed Bat Loft Floor Plans and Elevations (Drawing No. PL07) - Received 12 February 2019
 - (xv) Location Plan (Drawing No. SU01B) - Received 12 February 2019

- (xvi) Bat and Nesting Bird Report - Received 31 January 2019
 - (xvii) Blanket Soakaway Section & Calcs (Two Drawings) - Received 31 January 2019
 - (xviii) Percolation Tests (Four Drawings - TP1-TP4) - Received 31 January 2019
 - (xix) Planning Support Statement - Received 31 January 2019
 - (xx) Structural Report (Two Drawings - OB1 & OB2) - Received 31 January 2019
 - (xxi) Product Specification - BioDisc - Received 12 February 2019
3. The use of the buildings shall be restricted to holiday accommodation only and the buildings shall not be occupied as a person's sole or main place of residence at any time. An up to date register shall be kept at the holiday accommodation hereby permitted and be made available for inspection by the Local Planning Authority upon request. The register shall contain details of the names of all of the occupiers of the accommodation, their main home addresses and their date of arrival and departure from the accommodation.
 4. Notwithstanding the provisions of all Classes of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification) no development permitted by the said Classes shall be carried out unless otherwise approved in writing by the Local Planning Authority.
 5. The development hereby approved shall be carried out in strict accordance with the swallow enhancement measures and the bat mitigation measures, including the outline method statement (bats), set out in Section 4 of the approved ecological assessment (Bat and Nesting Bird Report carried out by P J Ecological Solutions dated July 2018).
 6. The alterations to the vehicular access shown on the approved proposed site plan shall be completed prior to the first occupation of any of the holiday accommodation units hereby approved.
 7. **PRE-COMMENCEMENT CONDITION**
Development shall not begin until an appropriate Photographic Survey of the existing buildings on site has been carried out, and the survey details, plans and resulting digital photographs have been submitted to and approved in writing by the Local Planning Authority.
 8. No external lighting shall be installed without the formal written approval of the Local Planning Authority to the detailing of the proposed lighting, and details approved shall be implemented and retained at all times unless otherwise agreed in writing by the Local Planning Authority.
 9. The timber cladding to be applied to the external walls of the development hereby approved shall have a natural weathered finish.
 10. Notwithstanding the approved details, the roof lights hereby approved shall be flush fitting and the frames shall be black or dark grey in colour so as to match the colour of the existing slate roof.
 11. Prior to the first occupation of any of the holiday accommodation units hereby permitted, details of litter bins and amenity areas to serve the development shall be submitted to and approved in writing by the Local Planning Authority and the details approved shall be implemented and retained at all times unless otherwise agreed in writing by the Local Planning Authority

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.
3. For the avoidance of doubt and in the interests of residential and visual amenity and rural restraint policies.
4. In the interest of residential amenity and in order for the Council to retain control over the use of the building.
5. In the interests of nature conservation and to preserve the favourable conservation status of protected bat species.
6. In the interests of highway safety.
7. In the interests of investigation and recording of historical buildings for the Historic Record.
8. In the interests of visual amenity and AONB landscape character.
9. In the interests of visual amenity.
10. In the interests of visual amenity.

11. In the interest of visual and residential amenity

Eitem Agenda 6

WARD: Dwyrain Prestatyn

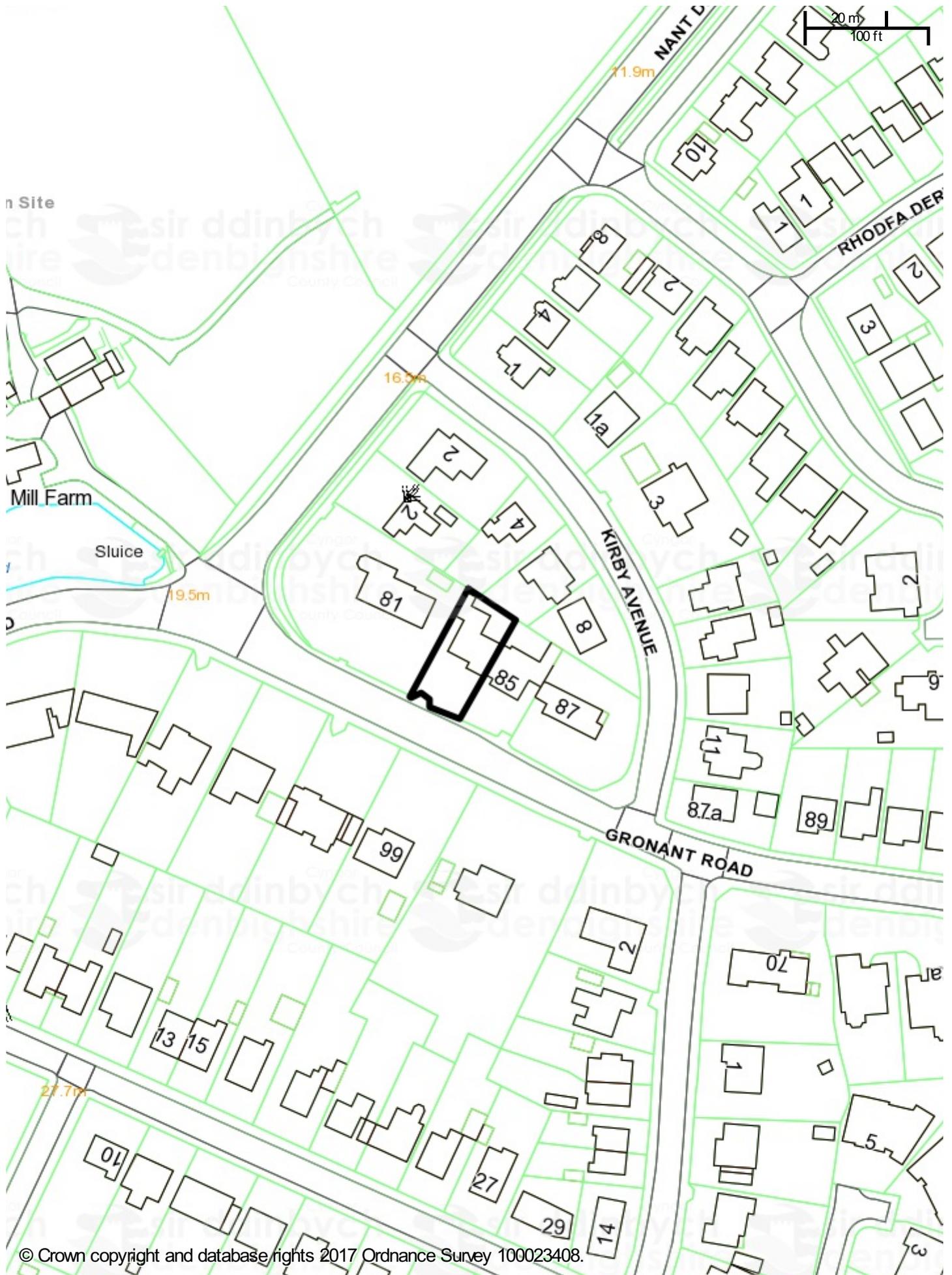
AELODAU'R WARD: Cyng Anton Sampson
Cyng Julian Thompson-Hill (c)

RHIF Y CAIS: 43/2019/0112/ PF

CYNNIG: Adeiladu un annedd yn lle'r un presennol a gwaith cysylltiedig

LLEOLIAD: 83 Ffordd Gronant, Prestatyn, LL19 9NA

Mae tudalen hwn yn fwriadol wag



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43/2019/0112

Scale: 1:1250

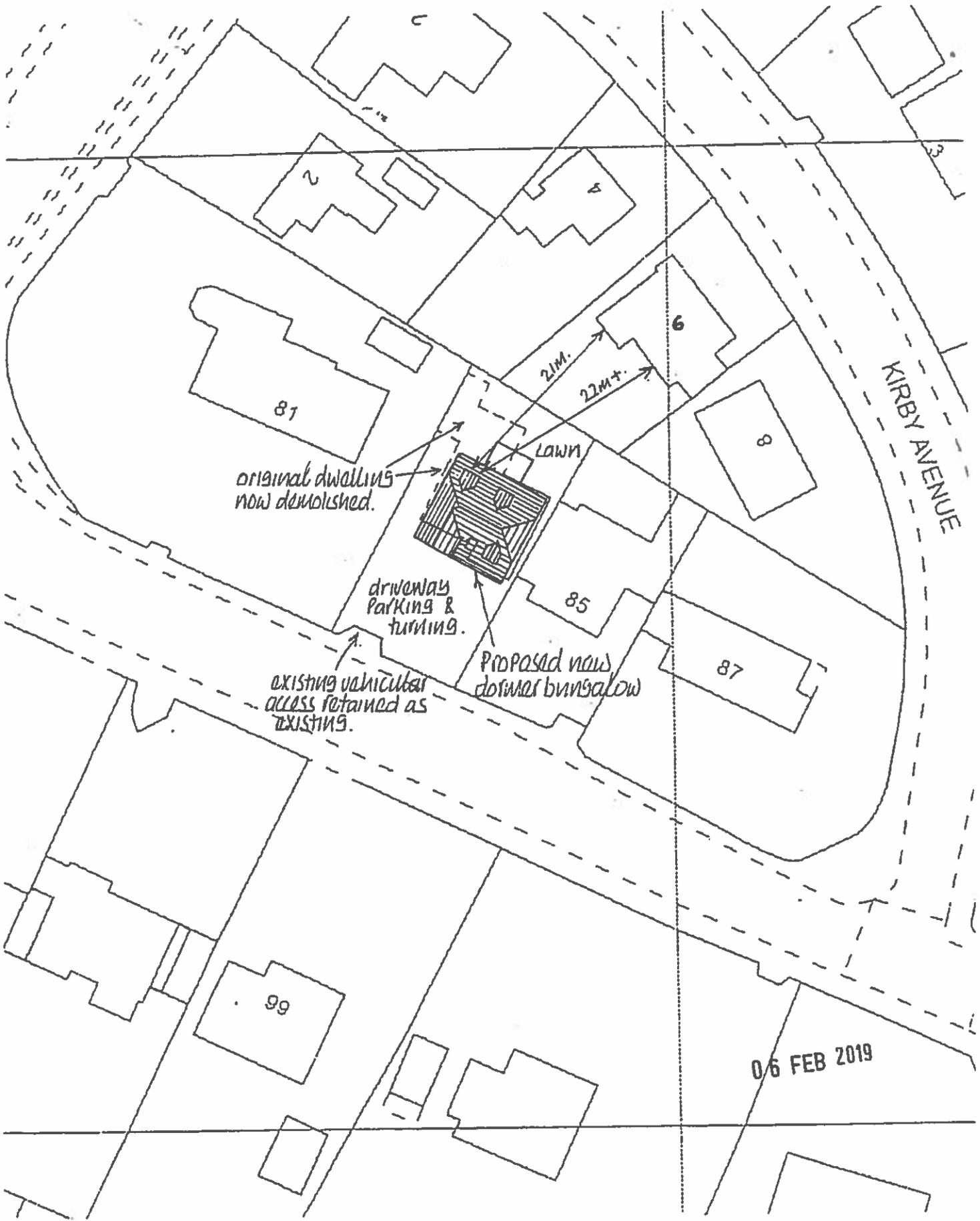
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Tudalen 51



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PROPOSED SITE PLAN



83 Gronant Rd ~ Proposed Site Plan ~ 1:500 ~ DG 2

PROPOSED FLOOR PLANS AND ELEVATION PLANS

Proposed external finishes of dwelling.
 Roof: mainly duo edged, slate, grey with roofing
 lime tiles, black PVC rainwater goods, black PVC
 fascias and bargeboards etc.
 Walls: cream or off white precoloured render
 blue/black chamarring brick flimth with black
 mortar joints.
 Doors and windows etc. aluminium grey PVC or
 powder coated aluminium units.

83/84, 15, 02, 11. PITCH ROOF WINDOWS ADDED TO EAST
 EASEY EXTENSION.

down the side down the lead to trail
 to highway entrance or station
 required for parking lot for rear
 of roof water framed back into
 double for driveway tracks etc.
 provide access to car to driveway
 as shown

refuse and recycling waste
 stored behind 2nd millers panel
 fence and 3125 as street

front forecourt parking turning
 area to be free standing parking
 also located gravel or brick finish
 lead to front to central area drain.

existing bush
 boundary
 side
 100sq ft area demarcated by existing
 1:125 existing 1:1
 existing bush fence etc

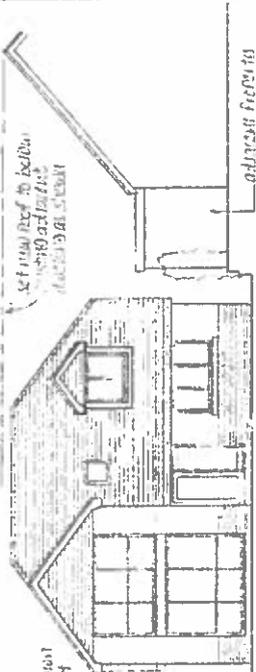
proposed new green landscaping
 planting beds shown in shaded
 approach of conditions of approval
 with full details to be submitted first
 to completion of shellings

SITE PLAN
 1:125
 existing 1:1

83 GRONANT RD
 DGI PROPOSED
 15/02/11

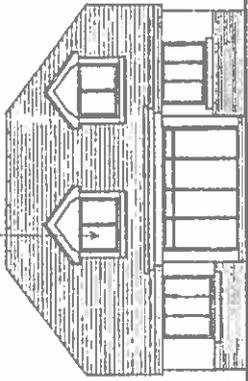
highway

footpath
 existing 1:1
 15/02/11



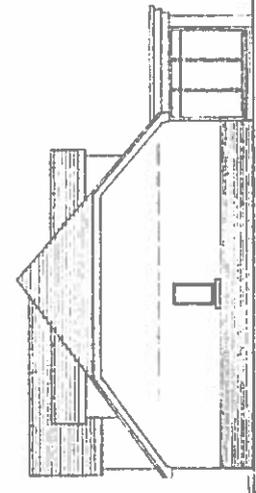
light coloured gables, brown
 timber boarding to front
 gable and porch as
 shown.

SOUTH 1:100

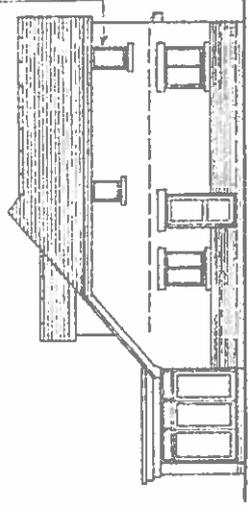


obscure glazed to level 3
 obscuring to bathroom.

NORTH 1:100

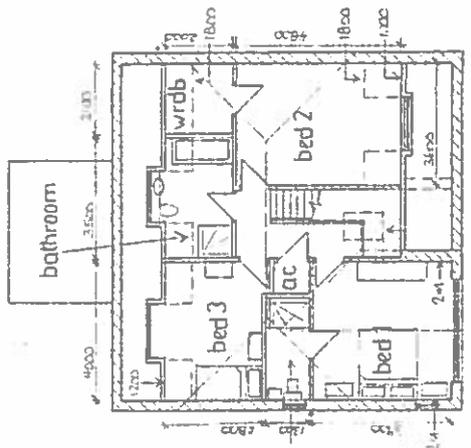


EAST 1:100



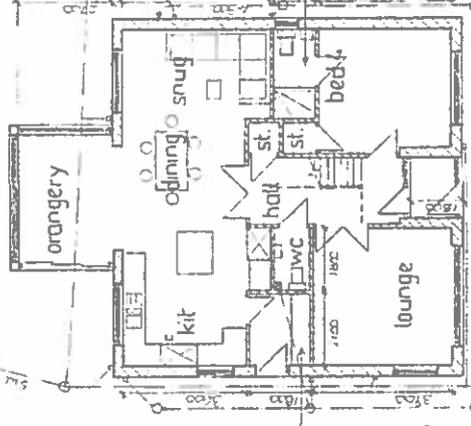
bedroom window fixed &
 obscure glazed to level 3
 obscuring

WEST 1:100

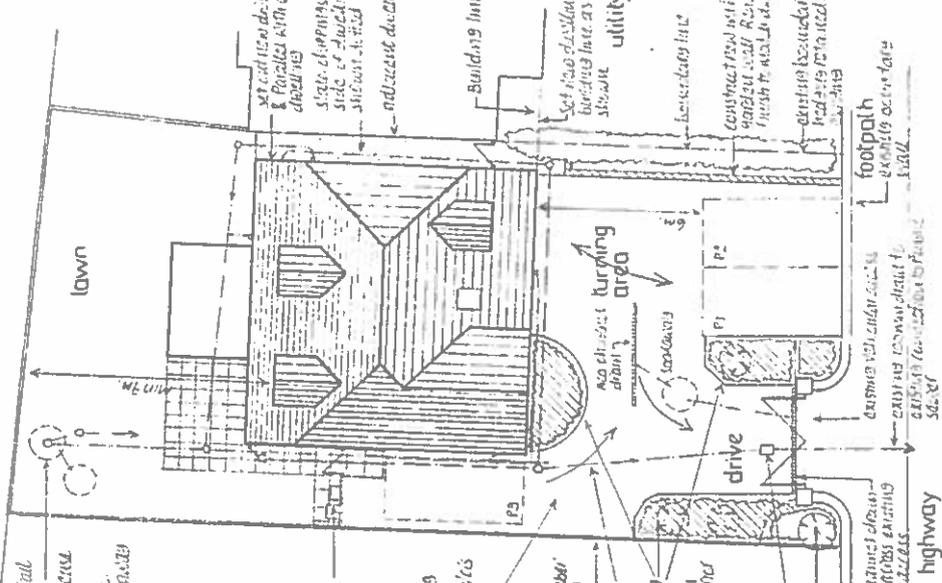


rooflight over
 hallway including
 landing staircase
 1:100 15/02/11

FIRST FLOOR 1:100

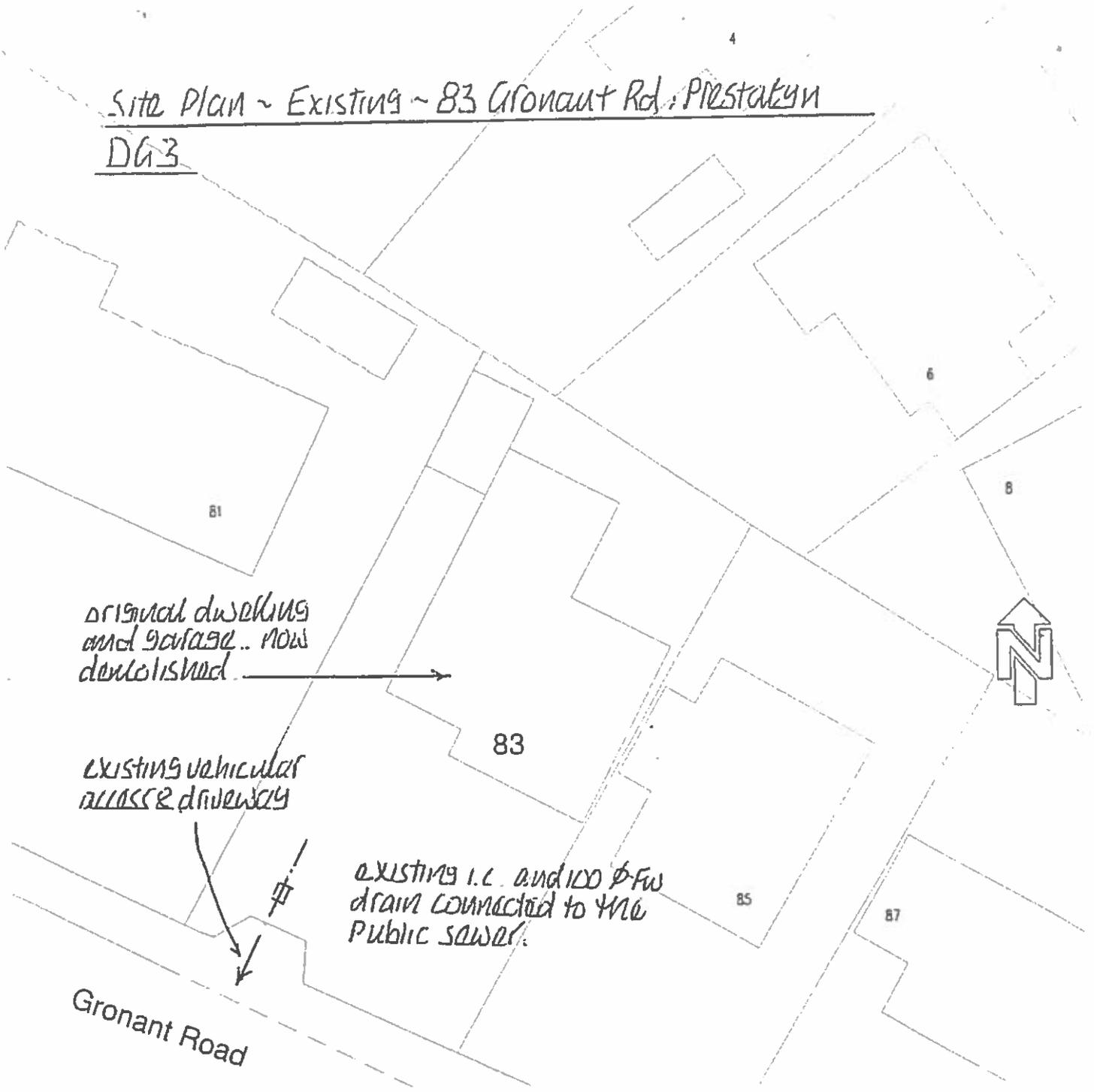


GROUND FLOOR 1:100



Site Plan ~ Existing ~ 83 Gronant Rd, Prestatyn

DG3



06 FEB 2019

WARD : Prestatyn East

WARD MEMBERS: Cllr Anton Sampson
Cllr Julian Thompson-Hill (c)

APPLICATION NO: 43/2019/0112/ PF

PROPOSAL: Erection of a replacement dwelling and associated works

LOCATION: 83 Gronant Road Prestatyn LL19 9NA

APPLICANT: Mrs Jean Dix-Dyer

CONSTRAINTS: Article 4 Direction

PUBLICITY UNDERTAKEN: Site Notice - No
Press Notice - No
Neighbour letters - Yes

REASON(S) APPLICATION REPORTED TO COMMITTEE:
Scheme of Delegation Part 2

- Member request for referral to Committee

CONSULTATION RESPONSES:

PRESTATYN TOWN COUNCIL

"Observation, An objection to the application has been lodged with concerns regarding being overlooked"

DWR CYMRU / WELSH WATER

No objection.

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

Highways Officer

No objection.

RESPONSE TO PUBLICITY:

In objection

Representations received from:

Susan Davies, 6, Kirby Avenue, Prestatyn (O)

Summary of planning based representations in objection:

Amenity considerations- loss of privacy and overlooking from dormers to dwelling at the rear.

EXPIRY DATE OF APPLICATION: 02/04/2019

EXTENSION OF TIME AGREED? 18/04/2019

REASONS FOR DELAY IN DECISION (where applicable):

- awaiting consideration by Committee

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

- 1.1.1 The application proposes the erection of a replacement dwelling at 83 Gronant Road in Prestatyn. The proposed dwelling would replace one it is understood was demolished in September 2018, following structural problems encountered in the course of extending and altering the bungalow which had been on the site for many years.
- 1.1.2 A four bedroom, 2 storey hipped roof dormer style dwelling is proposed. It would have a glazed feature gable to the front, and would occupy a footprint of roughly 100 sq metres. Materials proposed are render, brick and Marley slate effect tiles.
- 1.1.3 The proposed dwelling would be sited centrally on the plot with 3 parking spaces and a turning area to the front, and a private garden to the rear. Circulation space is proposed around all sides.
- 1.1.4 The plans illustrating the proposals are included at the front of the report.

1.2 Description of site and surroundings

- 1.2.1 Located on the northern side of Gronant Road. No.83 lies within a residential area comprised of a mixture of ages and styles of detached dwellings with a house to one side and a dormer bungalow to the other. There are bungalows and dormer bungalows of differing styles, heights and ages to the rear.
- 1.2.2 The site is currently cleared of all buildings, however the long established boundary features remain. The rear curtilage is bounded by wood panel fencing of around 2 metres in height, which runs around most of the boundary with No 81. The boundary with No 85 is defined by a mix of fencing, the wall of a flat roof garage, and a 2m high hedge. The road frontage is defined by a partly rendered wall with hedgerow behind.

1.3 Relevant planning constraints/considerations

- 1.3.1 The site is located within the development boundary in an area without any other specific designation in the Local Development Plan.

1.4 Relevant planning history

- 1.4.1 Planning permission was granted for alterations and extensions to the previous dwelling in 2016. These included:
 - 1) Increased height of the current bungalow from 5.0 metres up to 6.2 metres to allow for roof space accommodation in the form of two bedrooms and two bathrooms with light provided by two pitched roof dormers at the front and five roof lights in the rear roof slope.
 - 2) First floor extension above an existing flat-roofed rear projection to lead out from the new main roof to provide a study area, with a hipped roof over and two roof lights in each side roof plane.
 - 3) Single-storey flat-roofed extension at the rear of the property to accommodate a workshop adjacent to the side of the existing garage, with a footprint of 5.3 metres by 2.7 metres with a window and a door facing the garden for the dwelling.

1.5 Developments/changes since the original submission

- 1.5.1 None.

1.6 Other relevant background information

- 1.6.1 In support of the application the Agent has advised that when the previous extension was being built when the roof was removed the walls became unstable. As a result the remainder of the house was demolished. The replacement has been designed to sit better on the site and allow for better separation between neighbouring properties. It is suggested this would also be a more modern and efficient dwelling.

1.6.2 Councillor Julian Thomson Hill has requested the application be considered at Committee on the grounds of potential for a negative impact on amenity for the neighbours.

2. DETAILS OF PLANNING HISTORY:

2.1 43/2016/0294 Erection of extension to rear and alterations to roof to provide living accommodation. GRANTED under delegated powers 11/05/2016

3. RELEVANT POLICIES AND GUIDANCE:

The main planning policies and guidance are considered to be:

3.1 Denbighshire Local Development Plan (adopted 4th June 2013)

Policy RD1 – Sustainable development and good standard design

Policy BSC1 – Growth Strategy for Denbighshire

Policy BSC3 – Securing infrastructure contributions from Development

Policy BSC11 – Recreation and open space

Policy ASA3 – Parking standards

Supplementary Planning Guidance

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Development Design Guide

Supplementary Planning Guidance Note: Residential Space Standards

3.2 Government Policy / Guidance

Planning Policy Wales (Edition 10) December 2018

Development Control Manual November 2016

3.3 Other material considerations

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned.

The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

4.1.1 Principle

4.1.2 Visual amenity

4.1.3 Residential amenity

4.1.4 Drainage (including flooding)

4.1.5 Highways (including access and parking)

4.1.6 Open Space

4.2 In relation to the main planning considerations:

4.2.1 Principle

The main policy in the Local Development Plan which is relevant to the principle of housing development in towns and villages is BSC1, which seeks to make provision for new housing in a range of locations, concentrating development within identified development boundaries.

Policy RD1 states that development proposals within development boundaries will be supported subject to compliance with detailed criteria.

As the site is within the development boundary of Prestatyn as defined in the Local Development Plan, the principle of the development proposed would be acceptable in terms of BSC1. Furthermore the application proposes a 'one for one' replacement of a dwelling demolished as recently as September 2018. It is therefore considered the determination of the application should therefore rest on assessment of the local impacts of the proposal, which are reviewed in the following sections of the report.

4.2.2 Visual amenity

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

The Development Management Manual advises at paragraph 9.4.3 as to what can be considered a material consideration, and states that the effects of a development on the neighbourhood and environment can be a material consideration. It is therefore considered that the impact of a proposal on the visual amenity of an area is a standard material consideration.

No objections have been received to the application based on the visual amenity impacts of the proposed dwelling.

The plans show a dwelling with design characteristics common to this area, including use of render and brick on the walls, hipped / clipped roofs with dormer windows, and grey concrete tiles. In Officers' opinion this approach is acceptable in visual terms.

4.2.3 Residential amenity

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which touch on the potential for impact on residential amenity; test (vi) sets the requirement to assess the impact of development on the amenities of local residents, other land and property users, or characteristics of the locality, in terms of increased activity, disturbance, noise, dust, fumes, litter, drainage, light pollution, etc..

Planning Policy Wales 3.1.4 confirms that factors to be taken into account in making planning decisions (material considerations) must be planning matters; that is, they must be relevant to the regulation of the development and use of land in the public interest, towards the goal of sustainability. The residential amenity impacts of a development proposal are a material consideration.

The Development Management Manual advises at paragraph 9.4.3 as to what can be considered a material consideration, and states that the effects of a development on the neighbourhood and environment can be a material consideration. It is therefore considered that the impact of a proposal on the visual amenity of an area is a standard material consideration.

There is one private individual objection expressing concerns over the residential amenity impacts of the proposals, in terms of loss of privacy and overlooking to a property on Kirby Avenue from first floor dormers at the rear of the proposed dwelling. This appears to be the comment referred to by the Town Council in their response.

Having regard to the proposed plans, it would appear the only potential for overlooking and loss of privacy is from one of the first floor dormer windows on the rear of the proposed dwelling, serving bedroom 3. The other dormer window at the rear of the proposed dwelling is proposed to serve a bathroom, and would have obscure glazing.

In respect of the bedroom 3 window, members are referred to the 1:500 scale site plan at the front of the report, which annotates the respective distances of this first floor window to the rear walls of the objector's property at No.6 Kirby Avenue. The distances to a small projecting wall and the main rear wall of No.6 are 21 metres and 22 metres respectively. In noting the concerns of the neighbour, this meets the 21 metres minimum dimension suggested in Section 6.4 of the Residential Development Supplementary Planning Guidance for 'back to back' distances between main room windows of properties facing one another. In terms of overlooking the adjacent garden area, the bedroom window is shown at a 'minimum' of 9 metres from the boundary; the recommended minimum distance in the Supplementary Planning Guidance is 7.5 metres.

Consequently, in respecting the concerns expressed, Officers would suggest the proposals meet the recommended minimum distances in the Supplementary Guidance and that there is no reasonable basis for refusal based on residential amenity impacts in this instance.

4.2.4 Drainage (including flooding)

Local Development Plan Policy RD 1 test (xi) requires that development satisfies physical or natural environmental considerations relating to drainage and liability to flooding.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. Drainage and liability to flooding should therefore be regarded as potential material considerations.

There are no adverse representations raising drainage concerns. Dwr Cymru Welsh Water have no objections to the proposals.

4.2.5 Highways (including access and parking)

Local Development Plan Policy RD 1 supports development proposals subject to meeting tests (vii) and (viii) which oblige provision of safe and convenient access for a range of users, together with adequate parking, services and manoeuvring space; and require consideration of the impact of development on the local highway network. Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards.

These policies reflect general principles set out in Planning Policy Wales (PPW 10) and TAN 18 – Transport, in support of sustainable development.

Planning Policy Wales (PPW 10) confirms that factors to be taken into account in making planning decisions (material considerations) must be planning matters; that is,

they must be relevant to the regulation of the development and use of land in the public interest, towards the goal of sustainability. The highway impacts of a development proposal are a material consideration.

There are no highway concerns voiced over the application. The Highway Officer has no objections.

The main access onto Gronant Road is long established. The proposals are to retain it in substantially the same location of the road frontage, and raise no new highway issues.

4.2.6 Open Space

Policy BSC 3 of the local development plan sets the basic requirement for development to contribute, where relevant, to the provision of infrastructure, including recreation and open space, in accordance with Policy BSC 11.

Policy BSC 11 specifies that all new housing developments should make adequate provision for recreation and open space. All such schemes put increased demand on existing open spaces and facilities and therefore the policy applies to all developments including single dwellings.

In this instance a replacement dwelling is proposed therefore there would be no additional burden on open space provision. As such it would not be reasonable to require an open space contribution.

Other matters

Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

5. SUMMARY AND CONCLUSIONS:

5.1 The proposal is to erect a dwelling on the site of one demolished in the last year, following problems encountered during extension and alteration works on a long established dwelling there.

5.2 The site is within the town boundary and there are no 'in principle' issues involved in the development.

5.3 In respecting comments raised in relation to potential overlooking and loss of privacy, Officers are satisfied that the development can achieve the minimum distances set out in the Council's Supplementary Planning Guidance.

5.4 The proposals are therefore recommended for grant.

RECOMMENDATION: GRANT- subject to the following conditions:-

1. The development to which this permission relates shall be begun no later than 17th April 2024
2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission:
 - (i) Proposed plans, elevations and site plan (Drawing No. 1 Rev. A) received 18 February 2019
 - (ii) Existing site plan (Drawing No. 3) received 6 February 2019
 - (iii) Proposed site plan (Drawing No. 2) received 6 February 2019
 - (iv) Location plan received 6 February 2019

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.

Mae tudalen hwn yn fwriadol wag

Eitem Agenda 7

WARD: Llanbedr Dyffryn Clwyd/Llangynhafal

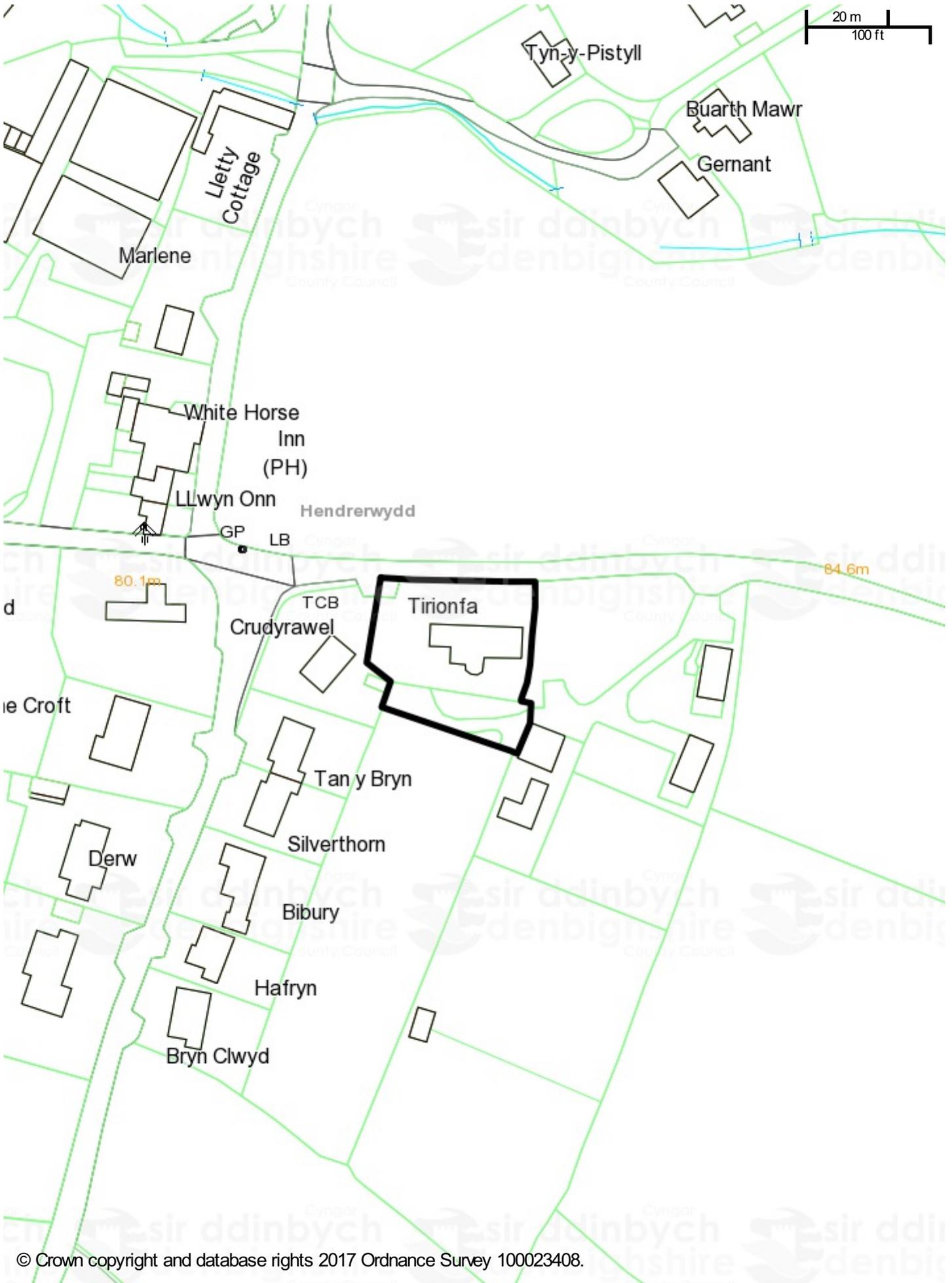
AELOD WARD: Y Cyng. Huw O Williams

RHIF Y CAIS: 22/2019/0275/ PF

CYNNIG: Codi estyniadau ac addasiadau i annedd

LLEOLIAD: Tirionfa Hendrerwydd Dinbych

Mae tudalen hwn yn fwriadol wag



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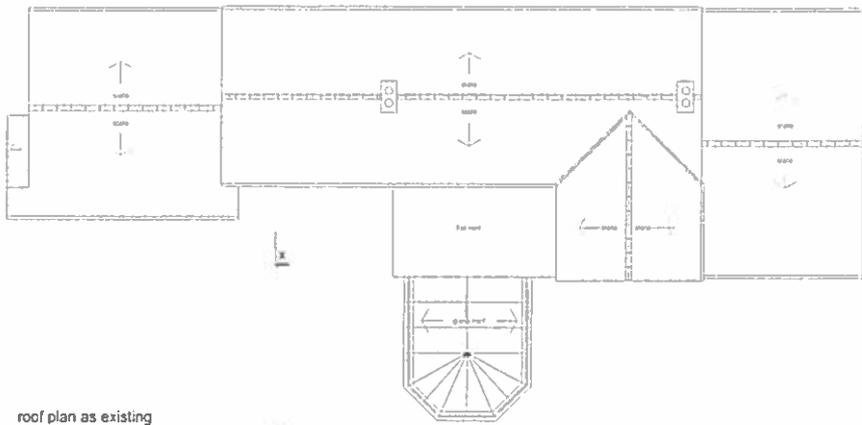
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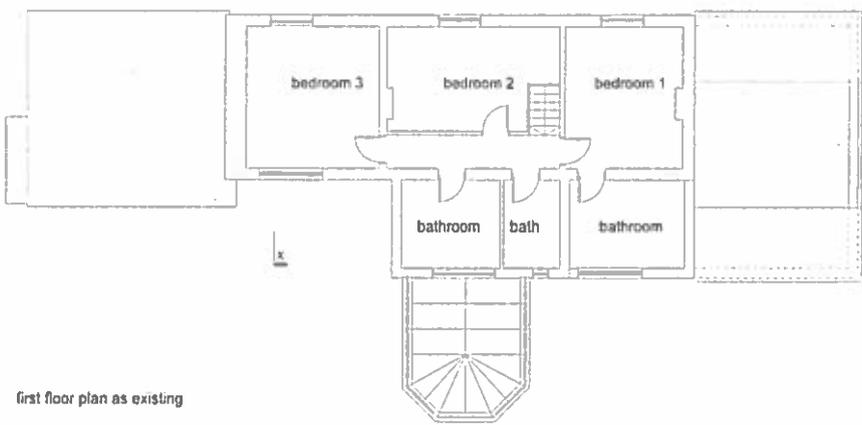
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Tudalen 69

EXISTING FLOOR PLANS



roof plan as existing

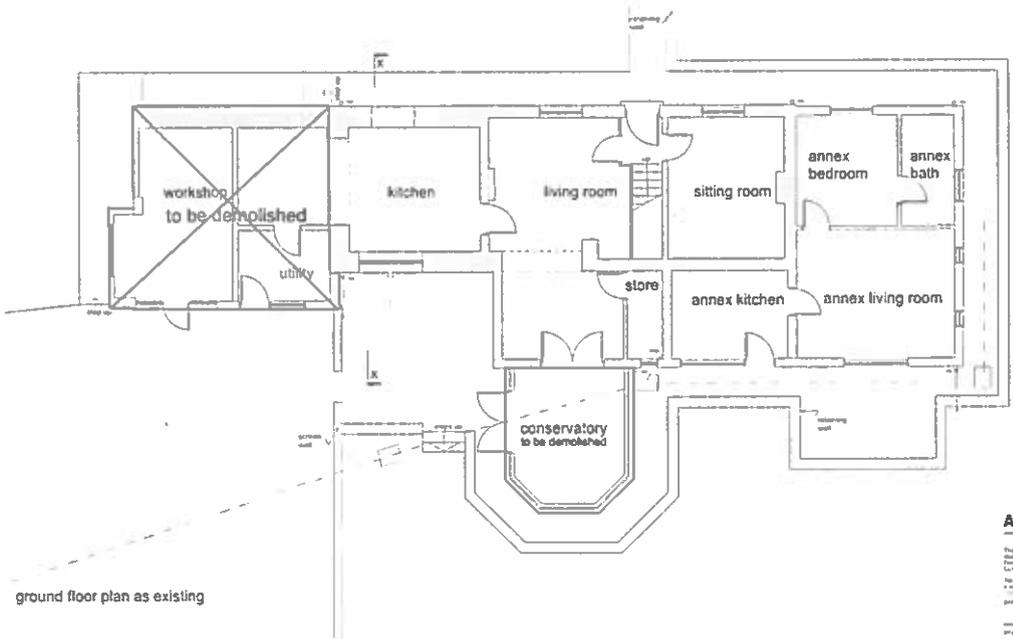


first floor plan as existing

Adrian Jones Associates
 The College Road, BIRVA Hill, Gwynedd Building, Llanfair, Denbigh, LL55 2JF
 Tel: 01248 725 222 Fax: 01248 725 223
 E-mail: adrian@adrianjones.co.uk
 project: **Tironfa, Hendrewydd, Denbigh**

Site: **Existing First Floor and Roof Plan**

author:	planning	date:	21/07
scale:	1:100 @ A3	drawn:	AL
checked:	AL(p)03	checked:	
drawn:		checked:	
drawn:		checked:	



ground floor plan as existing

Adrian Jones Associates
 The College Road, BIRVA Hill, Gwynedd Building, Llanfair, Denbigh, LL55 2JF
 Tel: 01248 725 222 Fax: 01248 725 223
 E-mail: adrian@adrianjones.co.uk
 project: **Tironfa, Hendrewydd, Denbigh**

Site: **Existing Ground Floor Plan**

author:	planning	date:	21/07
scale:	1:100 @ A3	drawn:	AL
checked:	AL(p)02	checked:	
drawn:		checked:	
drawn:		checked:	

EXTENT OF DEMOLITION

Adrian Jones Associates

The Company's Name: **RIBA IR**
 Company Number: **11317118**
 VAT Number: **11317118**
 Registered Office: **11317118**

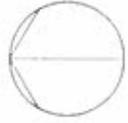
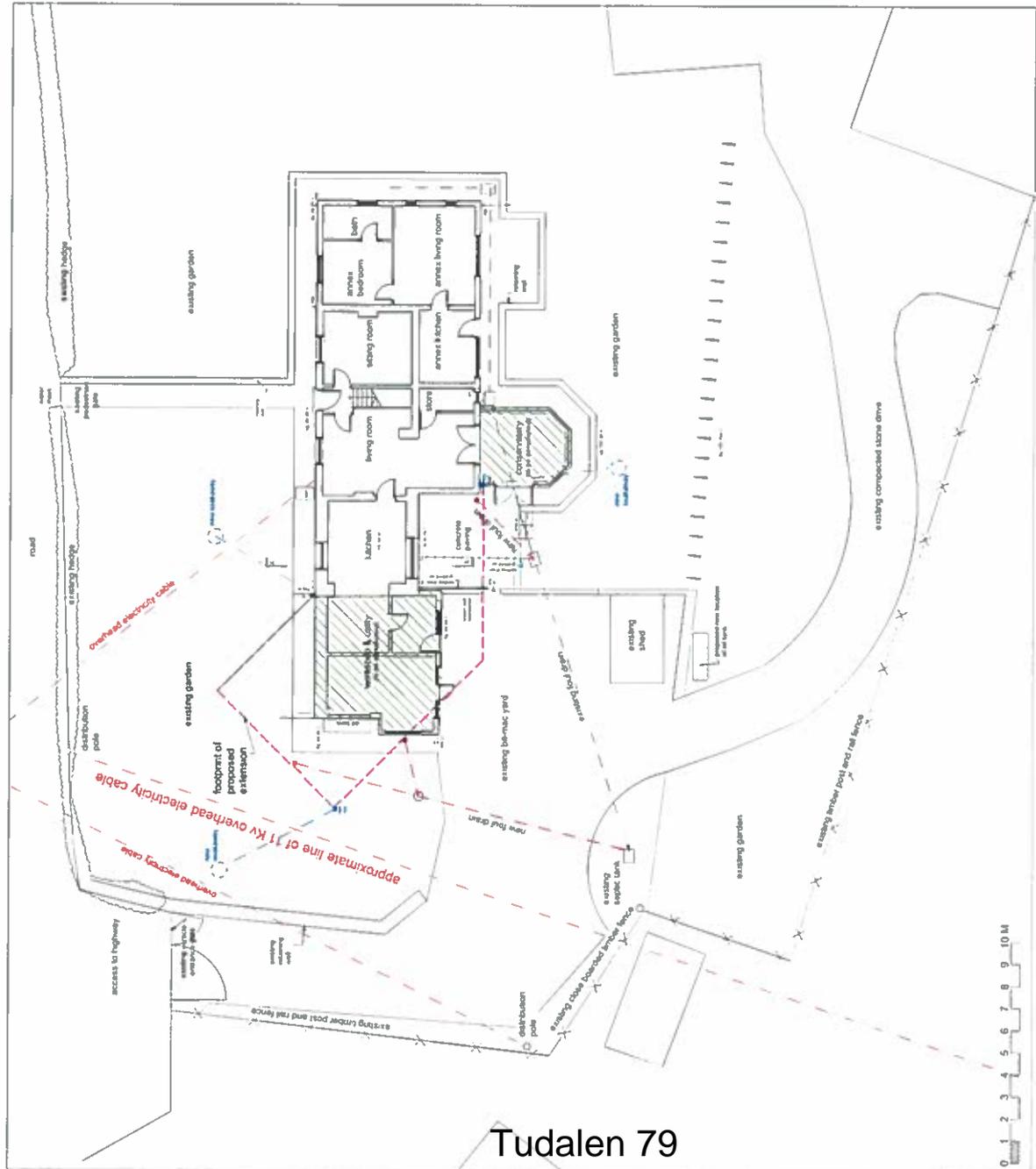
Project: **Tironia, Hendrerwydd, Denbigh**

Site: **Location and Block Plan**

status	planning	ref no	21807
scale	1:200 @ A3	date	
	1:1250 @ A3	file	
drawing no	revision		
	AL(p)01		
drawn		checked	



Location Plan 1: 1250
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areas to be demolished

footprint of proposed extension

Block Plan 1: 200

Tudalen 79

WARD : Llanbedr Dyffryn Clwyd / Llangynhafal
WARD MEMBER: Councillor Huw O Williams
APPLICATION NO: 22/2019/0275/ PF
PROPOSAL: Erection of extensions and alterations to dwelling
LOCATION: Tirionfa Hendrerwydd Denbigh
APPLICANT: C Jones
CONSTRAINTS: None
PUBLICITY UNDERTAKEN: Site Notice - No
Press Notice - No
Neighbour letters - Yes

REASON(S) APPLICATION REPORTED TO COMMITTEE:
Scheme of Delegation Part 2

- Application submitted by close relative of member of Staff of Planning and Public Protection Service

CONSULTATION RESPONSES:

LLANGYNHAFAL COMMUNITY COUNCIL-
No response at time of drafting report

NATURAL RESOURCES WALES-
No response at time of drafting report

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –
Ecologist-
No response at time of drafting report

RESPONSE TO PUBLICITY:

None received at time of drafting report

EXPIRY DATE OF APPLICATION: 15/05/2019

REASONS FOR DELAY IN DECISION (where applicable): N/A

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

- 1.1.1 The application seeks permission for the erection of a side / rear extension including the demolition of existing conservatory and workshop at an existing dwelling, Tirionfa, Hendrerwydd.
- 1.1.2 The proposed side extension would be angled at approximately 45 degrees in a northwest direction from the main dwelling. It would project from the northwest corner of the existing dwelling by 6m and would be 7.4m wide. It would have a roof height of 6.7m and an eaves height of 4.8m to match the existing dwelling. The lean to roof would have a height of 4.2m and an eaves height of 2.3m. The extension would

include a large open- plan kitchen/ dining area at ground floor level and a bedroom with en suite and walk-in-wardrobe to the first floor.

- 1.1.3 The rear extension would create an infill 'link' between the main dwelling and the proposed side extension and would not project further than the existing rear elevation of the main dwelling. It would have a flat roof to match the existing rear extension, with a height of 5m. It would comprise an entrance hall, WC to the ground floor level and a linen room and landing to the first floor. The stairs would be relocated to this area and removed from the centre of the existing dwelling.
- 1.1.4 A full height window is proposed to the northeast elevation, patio doors to the northwest elevation with a glass veranda above along the side elevation and three windows to the southwest elevation including the addition of 3 roof lights in the lean-to roof. A porch with a new entrance door is also proposed to the rear elevation with an additional window to serve the hall.
- 1.1.5 The proposed fenestration to the first floor includes two large windows to the northeast elevation, two narrow windows to the northwest elevation, a high level window to the south elevation and the addition of two roof lights. An additional narrow window to serve the landing is also proposed with a roof light above the stairs.

1.2 Description of site and surroundings

- 1.2.1 Tirionfa is a large detached dwelling located to the east of the crossroads on the southern side of the Llangynhafal Road at Hendrerwydd.
- 1.2.2 The land to the north of the road is open fields, with further fields to the east and south. The western boundary is adjacent to a field which has a width of around 30 metres with a ribbon of development fronting a road beyond to the west.
- 1.2.3 There are established holiday lodges located directly to the east of the site which are within the ownership of the applicant.

1.3 Relevant planning constraints/considerations

- 1.3.1 The site is located outside of any development boundaries in an undesignated area in the Local Development Plan.
- 1.3.2 It is situated within the 'Areas of Search' (Hamlets) under Policy BSC 6 of the Local Development Plan relating to local connections affordable housing in hamlets.

1.4 Relevant planning history

- 1.4.1 Previous extensions have been granted in relation to the property in 1990 and 1995.

1.5 Developments/changes since the original submission

- 1.5.1 None.

1.6 Other relevant background information

- 1.6.1 None.

2. **DETAILS OF PLANNING HISTORY:**

- 2.1 33/1050 Extension of property, WITHDRAWN 15/12/1975
- 2.2 33/11202 Extension to existing dwelling to form granny flat and additional bedroom, GRANTED 26/04/1990
- 2.3 33/15170 Extension to dwelling, GRANTED 05/12/1995

3. **RELEVANT POLICIES AND GUIDANCE:**

- The main planning policies and guidance are considered to be:
- 3.1 Denbighshire Local Development Plan (adopted 4th June 2013)
Policy RD3 – Extensions and alterations to existing dwellings

3.2 Supplementary Planning Guidance

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Space Standards

Government Policy / Guidance

Planning Policy Wales Edition 10 December 2018

Development Control Manual (2016)

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned.

The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

4.1.1 Principle

4.1.2 Visual amenity

4.1.3 Residential amenity

4.1.4 Ecology

Other matters

4.2 In relation to the main planning considerations:

4.2.1 Principle

Policy RD 3 relates specifically to the extension and alteration of existing dwellings, and states that these will be supported subject to compliance with detailed criteria. The Residential Development SPG offers basic advice on the principles to be adopted when designing domestic extensions and related developments.

The principle of appropriate extensions and alterations to existing dwellings is therefore acceptable. The assessment of the specific impacts of the development proposed is set out in the following sections.

4.2.2 Visual Amenity

Criteria i) of Policy RD 3 requires the scale and form of the proposed extension or alteration to be subordinate to the original dwelling, or the dwelling as it was 20 years before the planning application is made.

Criteria ii) of Policy RD 3 requires that a proposal is sympathetic in design, scale, massing and materials to the character and appearance of the existing building.

Criteria iii) of Policy RD3 requires that a proposal does not represent an overdevelopment of the site.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the

neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The visual amenity and landscape impacts of development should therefore be regarded as a potential material consideration.

No representations have been received raising visual amenity issues.

The proposal is for the erection of a side and rear extension, including the demolition of an existing conservatory and workshop. The proposed side extension is considered to be subordinate in scale to the existing dwelling as it would replace the footprint of the existing single storey workshop extension.

The first floor of the side extension is proposed to be finished in cedar cladding and it would be visible from public vantage points. Whilst this material does not match the existing dwelling, it is a modern addition which Officers are of the opinion adds an element of interest and clearly shows the extension as an addition to the original dwelling. It is not considered that the proposals would have a detrimental impact on the visual amenity of the area as there is no distinctive character of property in the locality.

Having regard to the design, siting, scale, massing and materials of the proposed extensions, in relation to the character and appearance of the dwelling itself, the locality and landscape, it is considered the proposals would not have an unacceptable impact on visual amenity and would therefore be in general compliance with the tests in the policies referred to.

4.2.3 Residential Amenity

Criteria iii) of Policy RD 3 requires that a proposal does not represent an overdevelopment of the site.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The residential amenity impacts of development should therefore be regarded as a potential material consideration. The impact of the proposals on visual amenity is therefore a basic test in the policies of the development plan.

The Residential Space Standards SPG specifies that 40m² of private external amenity space should be provided as a minimum standard for residential dwellings.

No representations have been received raising residential amenity issues.

The proposal is for the erection of a side and rear extension, including the demolition of an existing conservatory and workshop.

The Residential Development SPG states that no more than 75% of a residential property should be covered by buildings and that 40m² of private external amenity space should be provided as a minimum standard for residential dwellings.

The dwelling is located in a large residential plot with ample amenity space to the front and rear. A distance of approximately 6m would remain to the northwest boundary fence from the side extension at the narrowest point. It is not considered that the increase in size of the dwelling would represent an overdevelopment of the plot and sufficient amenity space would remain as a result of the extensions.

There are no immediate neighbours adjacent to the dwelling, with the nearest residential property located approximately 18m to the west. There are narrow windows proposed in the first floor northwest elevation which would serve an en suite

and dressing room. It is considered that the windows would not raise overlooking or privacy issues to the property to the west as there would be a sufficient separation distance to the side of the extension..

Having regard to the scale, location and design of the proposed development, it is considered that the proposals would not have an unacceptable impact on residential amenity, and would therefore be in general compliance with the tests of the policies referred to.

4.2.4 Ecology

Policy VOE 5 requires due assessment of potential impacts on protected species or designated sites of nature conservation, including mitigation proposals, and suggests that permission should not be granted where proposals are likely to cause significant harm to such interests.

This reflects policy and guidance in Planning Policy Wales (PPW 10) (Section 5.2), current legislation and Conservation and Enhancement of Biodiversity SPG (2016), which stress the importance of the planning system in meeting biodiversity objectives through promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.

The proposal involves the demolition of existing conservatory and workshop. The application is supported by a Protected Species Survey (carried out in March 2019) which reports the findings of a day-time building survey of the dwelling. No visible evidence of bats were found and it was concluded that the potential for the garage/utility to support roosting bats was negligible.

It is not considered likely that the proposals will give rise to ecological issues. Any responses from the Council's Ecologist and NRW will be included in the late information sheets.

Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

5. SUMMARY AND CONCLUSIONS:

5.1 Having regard to the detailing of the proposals, the potential impacts on the locality, and the particular tests of the relevant policies, the application is considered to be acceptable and is recommended for grant.

RECOMMENDATION: GRANT- subject to the following conditions:-

1. The development to which this permission relates shall be begun no later than 17th April 2024

2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission:
 - (i) Existing elevations and section (Drawing No. AL(p)04) received 21 March 2019
 - (ii) Existing ground floor plan (Drawing No. AL(p)02) received 21 March 2019
 - (iii) Existing first floor and roof plan (Drawing No. AL(p)03) received 21 March 2019
 - (iv) Proposed elevations 2/3 and Section AA (Drawing No. AL(p)07) Rev A received 1 April 2019
 - (v) Proposed elevations 1/4 and Section BB (Drawing No. AL(p)08) received 21 March 2019
 - (vi) Proposed ground floor plan (Drawing No. AL(p)05) received 21 March 2019
 - (vii) Proposed first floor and roof plan (Drawing No. AL(p)06) received 21 March 2019
 - (viii) Illustrative views of proposed extension (Drawing No. AL(p)09) received 21 March 2019
 - (ix) Location and block plan (Drawing No. AL(p)01) received 21 March 2019

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.

Adroddiad i'r:	Pwyllgor Cynllunio
Dyddiad y Cyfarfod:	17 Ebrill 2019
Aelod / Swyddog Arweiniol:	Y Cyng. Brian Jones, Priffyrdd, Cynllunio a Theithio Cynaliadwy Angela Loftus, Rheolwr Cynllunio Strategol a Thai
Awduron yr Adroddiad:	Angela Loftus, Rheolwr Cynllunio Strategol a Thai / Chris Evans, Prif Swyddog Cynllunio a Gwarchod Y Cyhoedd
Teitl:	Adroddiad ar yr ymgynghoriad a mabwysiadu newidiadau i ardal gadwraeth y Rhyl



1. Am beth mae'r adroddiad yn sôn?

1.1 Mae'r adroddiad hwn yn amlinellu sylwadau a ddaeth i law yn dilyn yr ymgynghoriad ar Werthusiad Ardal Gadwraeth y Rhyl a newidiadau arfaethedig i'r Ardal Gadwraeth. Mae crynodeb o'r ymgynghoriad a gyflawnwyd a'r sylwadau a ddaeth i law, ynghyd â'r ymatebion arfaethedig wedi'u hatodi yn Atodiad 1.

2. Beth yw'r rheswm dros lunio'r adroddiad hwn?

2.1 I sicrhau bod Aelodau yn ymwybodol o'r sylwadau a ddaeth i law o ganlyniad i'r ymgynghoriad a gyflawnwyd, ac i gytuno ar y newidiadau sydd wedi'u cynnig ar faint Ardal Gadwraeth y Rhyl.

3. Beth yw'r Argymhellion?

- 3.1 Bod yr Aelodau yn cymeradwyo'r newidiadau arfaethedig i Ardal Gadwraeth y Rhyl (fel y dengys ar y cynllun sydd wedi'i atodi fel Atodiad 2).
- 3.2 Bod y Pwyllgor yn cadarnhau ei fod wedi darllen, deall ac ystyried yr Aseiad o Effaith ar Les (Atodiad 3) fel rhan o'i ystyriaethau.

4. Manylion yr adroddiad

- 4.1 Mae Ardal Gadwraeth yn ardaloedd o 'ddiddordeb pensaernïol neu hanesyddol arbennig, y mae'n ddymunol cadw neu wella eu cymeriad neu eu hymddangosiad.' Mae gan awdurdodau lleol ddyletswydd i adolygu maint ardaloedd cadwraeth ac i gyhoeddi cynigion ar gyfer cadw a gwella ardaloedd cadwraeth. Pwrpas yr Arfarniad Ardal Gadwraeth yw diffinio a chofnodi'r diddordeb hanesyddol arbennig yn yr Ardal Gadwraeth. Mae Arfarniad Ardal Gadwraeth Canol y Rhyl yn cyflawni'r ddyletswydd hon mewn perthynas â'r Rhyl.
- 4.2 Yn wreiddiol, roedd dwy Ardal Gadwraeth ar wahân wedi'u dynodi yng nghanol y Rhyl, gydag Ardal Gadwraeth Eglwys Sant Tomos yn cael ei dynodi ym 1988 ac Ardal Gadwraeth Queen Street/Ffordd Cilgant yn cael ei dynodi ym 1992. Yn 2007, penderfynwyd adolygu'r ddwy Ardal Gadwraeth yng nghanol y Rhyl a'u cyfuno yn un Ardal Gadwraeth fwy. Mae'r Ardal Gadwraeth gyfredol yn cwmpasu ardal eang o ganol tref y Rhyl o Abbey Road i'r dwyrain i Stryd y Baddon yn y gorllewin, ac o Rodfa'r Gorllewin i'r gogledd, a'r orsaf drenau i'r de.
- 4.3 Penderfynwyd y byddai Ardal Gadwraeth y Rhyl yn elwa o adolygiad, oherwydd teimlid bod rhai ardaloedd wedi colli eu cymeriad ac roedd yn ardal fawr i'w rheoli. Penodwyd Penseiri Purcell, sy'n Ymgynghorwyr profiadol mewn Cadwraeth, i gynnal yr adolygiad.
- 4.4 Canfyddiadau allweddol yr arfarniad yw bod angen newidiadau i ffiniau'r Ardal Gadwraeth. Argymhellir bod ardaloedd o amgylch Stryd Edward Henry, safle Premier Inn, Harkers Amusements a Queen Street yn cael eu symud ymaith

oherwydd erydiad cymeriad, ac awgrymir y dylid cynnwys Parc Morlan, Stryd y Baddon a'r Stryd Fawr am eu bod yn cadw cymeriad, a dylid eu gwarchod. Mae'r newidiadau a gynigir i'w gweld ar y cynllun atodedig yn Atodiad 2. Nid oes gofyniad statudol i ymgynghori cyn adolygu ardal gadwraeth, fodd bynnag yn amlwg mae hi'n arfer da i ymgynghori â pherchnogion eiddo lleol a phreswylwyr, busnesau a rhai eraill sydd â diddordeb megis cyrff amwynderau.

- 4.5 Yn dilyn cymeradwyaeth y Pwyllgor Cynllunio i ymgynghori ar 18 Gorffennaf 2018, dechreuodd y cyfnod ymgynghori ar 3 Medi 2018. Ymgynghorwyd â Chyngor Tref y Rhyl ynghyd â rhanddeiliaid allweddol a phreswylwyr a thirfeddianwyr a effeithir gan y cynigion. Danfonwyd taflenni esboniadol a llythyrau â llaw i'r holl eiddo a oedd yn cael eu heffeithio. Bydd copïau caled o'r dogfennau hyn ar gael yn llyfrgell y Rhyl a siop un stop yn ogystal ag ar wefan Sir Ddinbych. Hefyd, roedd gwybodaeth ar gael yn y digwyddiad 'galw heibio' mewn 'siop un stop' yng Nghanolfan y Rhosyn Gwyn fel rhan o'r ymgynghoriad ar Uwchgyllun Canol Tref Y Rhyl. Defnyddiwyd Porth Ymgynghori newydd y Cyngor ar gyfer yr Ymgynghoriad hwn a bu i nifer o bobl ymateb i'r arolwg ar-lein a ddarparwyd. Mae tabl sy'n nodi'r sylwadau a ddaeth i law ac ymatebion a gynigiwyd wedi'u hatodi fel Atodiad 1.

Sylwadau a ddaeth i law

- 4.6 Daeth cyfanswm o saith ymateb i law drwy Borth Ymgynghori y Cyngor, roeddynt i gyd yn cytuno â'r cynnig i greu ffiniau newydd i Ardal Gadwraeth y Rhyl, a 5 yn cytuno ar y ffiniau newydd a gynigiwyd. Hefyd, daeth 5 ymateb ysgrifenedig i law. Y materion allweddol a godwyd oedd:

- Cefnogi'r newidiadau a gynigiwyd
- Pryderon ynghylch yr effaith ar eiddo yn yr ardal a chyfyngiadau ychwanegol posibl a osodir.
- Estyniadau ychwanegol i'r Ardal Gadwraeth a awgrymwyd, gan gynnwys Splash Point i Bath St, H Bridge a Marsh St, Aquarium Street/ John Street/ Butterton Road/ Palace Avenue a rhannau o Ffordd Wellington.

- Cadw wedi mynegi cefnogaeth i'r estyniadau a gynigiwyd i'r Ardal Gadwraeth i gynnwys rhannau uchaf Stryd Y Baddon a Morlan Park, a'r Sinema Regal blaenorol, ond roedd ganddynt bryderon ynghylch cynigion i eithrio ardaloedd ar hyd ffin ogledd-orllewin yr Ardal Gadwraeth; ardaloedd datblygu Premier Inn, Harker's Amusements a Heol Y Frenhines, parc bysiau Clarence Road ac ochr ogleddol Stryd Edward Henry, gan y gallai wanbau datblygiadau yn y dyfodol.
- Cefnogi newid i ffin Stryd Edward Henry, ac awgrymwyd y dylid cael gwared â'r tir ychwanegol yn Stryd Edward Henry o'r Ardal Gadwraeth.

4.7 Mae ymatebion manwl o'r materion a godwyd wedi'u cynnwys yn Atodiad 1. Mae ymatebion gwreiddiol ar gael gan y Tîm Tai a Chynllunio Strategol. I grynhai, teimlwyd bod yr ardaloedd a gynigiwyd cael gwared ohonynt o'r Ardal Gadwraeth wedi colli eu cyfanrwydd hanesyddol a phensaernïol, a bod angen ffocysu ein hadnoddau ar ardaloedd sydd yn cadw gwerth. Mae'r ardaloedd hynny sydd yn cael eu cynnig i'w cynnwys o amgylch Morlan Park, Stryd y Baddon a'r Stryd Fawr yn cael eu hystyried eu bod yn cadw cymeriad a dylid eu gwarchod.

Beth fydd yn digwydd nesaf?

4.8 Os yw'r newidiadau ffiniau Ardal Gadwraeth arfaethedig yn cael eu cymeradwyo gan y Pwyllgor Cynllunio, mae'n rhaid i'r Cyngor roi hysbysiad yn y *London Gazette* a phapur newydd lleol, a mae'n rhaid cofnodi manylion am yr Ardal Gadwraeth yn y cofnod amgylchedd hanesyddol. Mae'n rhaid hysbysu Ymddiriedolaeth Archaeolegol Clwyd Powys gan eu bod yn cynnal y Cofnodi Amgylchedd Hanesyddol. Byddwn hefyd yn hysbysu Cadw, Adrannau Pridiannau Tir a Chyfreithiol y Cyngor a phreswylwyr yr Ardal Gadwraeth.

5. **Sut mae'r penderfyniad yn cyfrannu at y Blaenoriaethau Corfforaethol?**

- 5.1 Blaenoriaethau Corfforaethol 2017–22. Bydd Arfarniad Ardal Gadwraeth y Rhyl yn cyfrannu'n gadarnhaol tuag at y flaenoriaeth gorfforaethol ganlynol:
- Mae'r amgylchedd yn ddeniadol ac wedi ei warchod, gan gefnogi lles a ffyniant economaidd.
6. **Faint fydd hyn yn ei gostio a sut fydd yn effeithio ar wasanaethau eraill?**
- 6.1 Nid yw cymeradwyo'r newidiadau i ffiniau Ardal Gadwraeth wedi'i rhagweld i greu costau ychwanegol ac mae'n annhebygol o gael effaith ar wasanaethau eraill y Cyngor.
7. **Beth yw prif gasgliadau'r Asesiad o Effaith ar Les?**
- 7.1 Mae'r Asesiad o Les yn dangos effeithiau cadarnhaol ar bob nod lles, gyda'r eithriad o 'Sir Ddinbych mwy cyfartal' a 'Sir Ddinbych sy'n gyfrifol yn fyd-eang', ac roedd y ddau wedi sgorio fel effeithiau niwtral. Bydd adolygiad a'r newidiadau ffiniau arfaethedig yr Ardal Gadwraeth y Rhyl yn hysbysu ar waith ar Uwchgynllun Canol Tref Y Rhyl a phrosiectau gwahanol eraill sydd yn cyfrannu at welliannau i ganol y dref. Bydd y gwaith hwn yn gadarnhaol. Y pwynt allweddol at lwyddiant prosiect fydd ymgysylltiad a chyfathrebiad gweithredol gyda phob sector yn y gymuned. Bydd hyn yn ein galluogi i hyrwyddo nodau lles a nodwyd yn ystod pob prosiect ac i liniaru unrhyw effeithiau negyddol posibl. Drwy gyflawni methodoleg rheoli prosiect a chyfathrebu'n rheolaidd gyda'r rhanddeiliaid, bydd hyn yn ein galluogi i reoli unrhyw effeithiau nad ydynt yn hysbys eto.
8. **Pa ymgynghoriadau a gynhaliwyd gyda Chraffu ac eraill?**
- 8.1 Fe wnaeth adrannau o fewn Cynllunio a Gwarchod y Cyhoedd ymgysylltu â'i gilydd. Trafodaethau gyda gwasanaethau eraill CSDd ac o fewn gwaith Uwchgynllun Canol Tref y Rhyl.
9. **Datganiad y Prif Swyddog Cyllid**
- 9.1 Bydd costau cyfyngedig yn dod o'r gofyniad i hysbysebu'r newidiadau a hysbysu perchnogion a phreswylwyr eiddo a fydd yn cael eu heffeithio. Rhaid i'r holl gostau gael eu cynnwys o fewn yr adnoddau presennol.
10. **Pa risgiau sydd yna ac oes yna unrhyw beth y gallwn ei wneud i'w lleihau?**

10.1 Mae risg na fydd perchnogion a phreswylwyr yr eiddo a effeithir yn deall goblygiadau'r cynigion. Byddwn yn ceisio lleihau'r risg drwy sicrhau bod y rhai a effeithir yn cael eu hysbysu gyda gwybodaeth eglurhaol o'r goblygiadau.

11. Pŵer i wneud y Penderfyniad

11.1 Deddf yr Amgylchedd Hanesyddol (Cymru) 2016

Name of Respondent	Comments	Response
Robin Evans	<p>Any other conservation measures taken in the area? Marine lake. The lake is of natural importance as it is home to many birds and animals. The railway is the oldest miniature railway in the UK. At the moment the place is spoilt with anti-social behaviour and drug dealing and using.</p> <p>Are there any other comments you would like to make? I fully support Denbighshire's vision for the future of Rhyl and would like to pass on my thanks to the hard working people within DCC who have already made a positive difference to our town. Thanks!!</p>	DCC are currently not looking at adding any further Conservation Areas in Rhyl. It is acknowledged the Marine Lake is an important site but the purpose of a Conservation Area is to preserve and enhance the built heritage of a designated area and does not cover nature reserves and tourist attractions.
S R Holdsworth (Mrs) Tudalen 93	<p>Unfortunately I was away when the exhibition was on, so was unable to attend.</p> <p>I would be interested to hear what types of restrictions you intend putting on my property.</p> <p>Will these remove our ability to park on our own land around the back of the houses, as these properties were sold with vehicular access to the rear? Will we be expected to remove the current (Council supplied and fitted) plastic drain pipes, gutters and windows? Or be expected to remove the (Council supplied and fitted) pebble dashing, rear walls and gates? What about repairs to our party walls, our already installed satellite dishes and TV aerials? Are you going to remove the on street parking, for which we currently have to pay? How will living in a listed building affect its value or saleability?</p>	<p>The main restrictions in a conservation area are demolishing buildings and removing/lopping trees where consent is required. Other factors involved are when new development is proposed, the impact on the character of the area would be considered when planning applications are submitted.</p> <p>If there are existing rights to park at the rear of the property then this will not be affected. All of the other items mentioned which are existing will not be affected as it is only new development which is considered. Any listed buildings are already designated and the value and saleability should not be affected by being in a Conservation Area.</p> <p>It is assumed the modified houses are those involved previously and refurbished under a regeneration scheme when they were outside the boundary of the</p>

	<p>It does seem a little ridiculous that these modified houses are to be included in a conservation area, especially when some of the modifications were done by the Council.</p>	<p>Conservation Area. They have retained substantial character to be recommended for inclusion into the area</p>
<p>Mr Matthew Stephen Lovelock BA (Hons)</p> <p style="text-align: center;">Tudalen 94</p>	<p>Woolworths (1954) building should form the North Easterly boundary of the High Street area to include the Woolworths building (now B & M) at 1-7 East Parade which itself should be listed.</p> <p>Conservation Area to be extended from Splash Point to Bath Street (on the South side of the East Parade/ Marine Drive only) to include established properties including Colet House which itself is not listed but ought to be.</p> <p>The H Bridge and Marsh Road to be included in the Conservation Area due to the value of Railway Terrace and Marsh Road as an extension of the natural boundary to the South of the railway.</p> <p>Aquarium Street/ John Street/ River Street/ Butterson Road/ Palace Avenue and parts of Wellington Road to be included in the Conservation Area to encompass West End properties including some parts of West Parade especially between Palace Hotel and John Street but leaving out the new Home on the site of Chippy 77 (77 West Parade) and the other new Home on the corner of John Street.</p> <p>It would be nice in addition if the Council could put forward to Cadw suggestions for additions to the Statutory List. I could suggest some properties.</p>	<p>Although there are fine individual non listed buildings retaining character in the areas mentioned, these areas as a whole would not be considered to be of special architectural or historic interest.</p> <p>The existing Conservation Areas in Rhyl have been selected as the best examples which contain the most historic value which need the protection to preserve the character of the these areas</p> <p>Please note that River Street (mentioned in response) is covered under a Conservation Area.</p> <p>If any individual properties are deemed worthy of listing then there is scope to suggest them to Cadw for inclusion</p>

<p>Philip Hobson Protection & Policy, CADW</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">Tudalen 95</p>	<p>Thank you for your letter of 3 September consulting us on your authority's review of the building conservation area for Rhyl.</p> <p>We welcome this very thorough appraisal which serves to show how much special character worth protecting Rhyl still retains. The reasons for extending the north-eastern boundary of the conservation area to include the upper parts of Bath Street and Morlan Park and the former Regal Cinema, as set out in p.64 of the review document, are well-founded and we would support the proposed inclusion of these additional areas.</p> <p>We are less convinced however, by the reasoning behind the proposals to exclude several sections along the north-west boundary of the conservation area; the Premier Inn, Harker's Amusements and Queen Street development sites, Clarence Road coach park and the northern end of Edward Henry Street. Our worry here is that that by excluding these areas, control over future development may be weakened, leading to the demolition of the older buildings in poor condition and their replacement by new buildings that do not complement the historic character of this part of Rhyl.</p> <p>We would not regard this to be an appropriate course of action. Where there are concerns about the condition of buildings or the cost of repairs or plans for re-development, the proper mechanism would be to seek conservation area consent for their demolition. If buildings are genuinely beyond repair, and demolition is found to be the only option then it is preferable that they should be rebuilt in a form and character that matches the demolished structures as they</p>	<p>It is acknowledged that it is with reluctance areas are removed from Conservation Areas, please see below the reasoning behind removing the following areas in question;</p> <p>Queen Street – area to be removed is a group of buildings which have previously been demolished and is now a car park. If this plot is to be developed in the future then any new development would be controlled going through the planning process to ensure an appropriate scheme to complement the Conservation Area is brought forward. There are two properties remaining included for removal</p> <p>Edward Henry Street DCC Conservation has requested part of the proposed area for removal be retained (nos 1-9) which is felt does positively contribute however (nos. 11 -30) are in extremely poor condition and retain little character and along with the houses opposite (nos. 20-30) which are a modern housing development constructed in the 1990's and it is felt are justified for removal.</p> <p>West Parade The new Premier Inn constructed 2 years ago along with an amusement arcade of little historic value are felt not appropriate to be included in the Conservation Area.</p> <p>Crescent Road Car Park</p>
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	<p>played an important role in the character of the surrounding area.</p> <p>The basis for excluding these parts of the conservation area is that most of the buildings are in poor condition and have lost much of their historic detail and the council wish to focus resources on those parts of the conservation area that are in better condition. We appreciate the need to focus resources but, whilst resources for positive interventions could be targeted, high standards of development management should be applied across the whole of the designated area.</p>	<p>This is a DCC public car park and it is felt does not contribute to the Conservation Area.</p> <p>Bedford Street It is felt the buildings on the south side of this street have lost their historic and architectural integrity and we need to focus our resources on areas retaining value.</p>
<p>PG Lloyd Tudalen 96</p>	<p>I am instructed by Pennaf Housing Group (PHG) to set out representations in response to the Review of the Rhyl Conservation Area. In summary PHG supports the current suggested amendment to the Conservation Area boundary at Edward Henry Street.</p> <p>However PHG seeks an additional amendment to the Conservation Area boundary to remove land at number 3, 5, 7 and 9 Edward Henry Street (marked yellow on the plan attached to this letter) from the Conservation Area as part of the review.</p> <p>This response is based on assessment of the Conservation Area Review/Appraisal document, Planning Policy Wales, TAN 24 and associated other guidance, including adopted supplementary planning guidance for the site The reasons for proposing this further revision are set out in summary below.</p>	<p>Please see response to each individual item below;</p> <ol style="list-style-type: none"> 1. The buildings (3,5,7,9 Edward Henry St) retain significant character and are a good example of a Victorian terrace making a positive contribution to the Conservation Area. 2. The adjacent terrace north of these buildings retain very little character, are in extremely poor condition and have a negative contribution to the Conservation Area. 3. Any building is suitable for retention and refurbishment and the internal changes do not impact the Conservation Area. 4. Retaining these buildings will have a significant positive impact on the future ambitions of West Rhyl by retaining the Victorian character. These buildings can easily be refurbished to provide good quality housing and it only requires the vision and will of the owner and consultant to achieve this.

Tudalen 97	<ol style="list-style-type: none"> 1. The buildings make a less than positive contribution to the Conservation Area. 2. It would be consistent with the approach taken on the north/eastern side of Edward Henry Street (notably the other property north of these buildings identified as at risk or as compromised heritage assets in the Review. 3. The degree of earlier incremental change, subdivision and overall condition of the buildings is such that they are unsuitable for retention or viable refurbishment. 4. Retaining the buildings within the Conservation Area may significantly and detrimentally impact on the long term proposals and ambitions to regenerate West Rhyl. Wider corporate aspirations to improve housing conditions and regenerate the town could be seriously prejudiced and conflict with other SPG objectives. 5. The setting of the Conservation Area, and of adjacent listed buildings could in any event be materially preserved and enhanced by newly designed modern buildings which would replace the existing buildings and in doing so deliver a modern and cohesive housing development that reflects the new vision for a Rhyl in the 21st century and beyond. 	<ol style="list-style-type: none"> 5. The setting of the Conservation Area and adjoining buildings can only be preserved and enhanced by retaining these buildings and by not demolishing them to make way for a modern development
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Mae tudalen hwn yn fwiadol wag

Mae tudalen hwn yn fwiadol wag

Rhyl Conservation Area review

Well-being Impact Assessment Report

This report summarises the likely impact of the proposal on the social, economic, environmental and cultural well-being of Denbighshire, Wales and the world.

Assessment Number:	541
Brief description:	Report on consultation and adoption of changes to Rhyl Conservation Area. This work is part of the Rhyl Public Realm Strategy and Rhyl Town Centre Masterplan.
Date Completed:	Version: 0
Completed by:	
Responsible Service:	Planning & Public Protection
Localities affected by the proposal:	Rhyl,
Who will be affected by the proposal?	Residents, visitors, businesses, partner organisations, landlords
Was this impact assessment completed as a group?	Yes

IMPACT ASSESSMENT SUMMARY AND CONCLUSION

Before we look in detail at the contribution and impact of the proposal, it is important to consider how the proposal is applying the sustainable development principle. This means that we must act "in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs."

Score for the sustainability of the approach

★ ★ ★ ☆ (3 out of 4 stars) Actual score : 25 / 30.

Implications of the score

As part of the work on the environmental enhancement of Rhyl and the Rhyl Town centre masterplan, as these projects progress we will revisit the five ways of working and ensure any improvements to sustainability is embedded within.

Summary of impact

Well-being Goals

A prosperous Denbighshire

A resilient Denbighshire

A healthier Denbighshire

A more equal Denbighshire

A Denbighshire of cohesive communities

A Denbighshire of vibrant culture and thriving Welsh language

A globally responsible Denbighshire

Positive

Positive

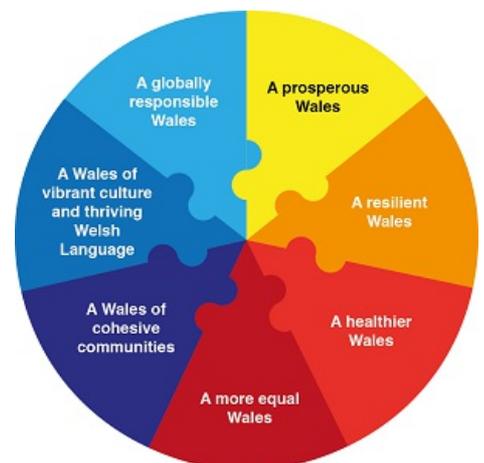
Positive

Neutral

Positive

Positive

Neutral



Main conclusions

Rhyl conservation area review and proposed boundary changes will inform work on Rhyl Town Centre Masterplan and various projects contributing to town centre improvements. This work will create positive impacts. The key to the projects' success will be active engagement and communication with all sectors of the community. This will enable us to promote all the identified well-being goals throughout each project and to mitigate any potential negative impacts. By undertaking a project management methodology and having regular communication with stakeholders, this will enable us to manage any impacts that are not yet known.

Evidence to support the Well-being Impact Assessment

- We have consulted published research or guides that inform us about the likely impact of the proposal
- We have involved an expert / consulted a group who represent those who may affected by the proposal
- We have engaged with people who will be affected by the proposal

THE LIKELY IMPACT ON DENBIGHSHIRE, WALES AND THE WORLD

A prosperous Denbighshire

Overall Impact	Positive
Justification for impact	Environmental enhancement can only improve the prosperity of an area, i.e. better place to live, work, invest and visit
Further actions required	On going monitoring to ensure best practical means are employed to achieve the outcomes.

Positive impacts identified:

A low carbon society	Boundary changes proposed will allow for some redevelopment. Energy efficient buildings / properties. Any new buildings will be required to meet higher energy efficiency standards
Quality communications, infrastructure and transport	Not relevant to this report
Economic development	Increased visitor numbers due to improved environment. More quality residential dwellings in town centre. Enhance the local environment & visual appearance to be more attractive to residents and businesses. Increase footfall.
Quality skills for the long term	Opportunities for specialist skills development in conservation & renovation of historic buildings. Volunteer groups get involved in longer term maintenance in enhanced environment.
Quality jobs for the long term	An enhanced environment will attract businesses investment hence result in mixed of job opportunities
Childcare	Not relevant to this report

Negative impacts identified:

A low carbon society	Potential conflict between energy conservation and historic built heritage conservation.
Quality communications, infrastructure and transport	Not relevant to this report
Economic development	Refurbishment of historical buildings could conflict with business aspirations. Inconvenience during renovation.
Quality skills for the long term	
Quality jobs for the long term	
Childcare	Not relevant to this report

A resilient Denbighshire

Overall Impact	Positive
Justification for impact	The protection and enhancement of important historic buildings in Rhyl will contribute to a more desirable environment.
Further actions required	Ensure communication is effective, to minimise complaints. Maximise opportunities to raise awareness about people's environment

Positive impacts identified:

Biodiversity and the natural environment	The conservation area designation provides some protection for existing trees - permission is required before any works or felling can be carried out.
Biodiversity in the built environment	We could develop guidance to maximise biodiversity. Retaining historic buildings could mean the retention of habitats for bats.
Reducing waste, reusing and recycling	Encouraging re-use of materials from renovated buildings
Reduced energy/fuel consumption	Boundary changes proposed will allow for some redevelopment. Any new buildings will be required to meet higher energy efficiency standards
People's awareness of the environment and biodiversity	The enhancement of historic buildings will raise people's awareness of the historic environment. Consultation and engagement has taken place on conservation review .
Flood risk management	Not relevant to this report

Negative impacts identified:

Biodiversity and the natural environment	
Biodiversity in the built environment	Enhancing historic buildings could result in disturbance of habitats
Reducing waste, reusing and recycling	Increase demand for waste collection, if footfall increases
Reduced energy/fuel consumption	Potential conflict between energy conservation and historic built heritage conservation
People's awareness of the environment and biodiversity	More complaints from public and residents (resource implications of responding)
Flood risk management	Not relevant to this report

A healthier Denbighshire

Overall Impact	Positive
Justification for impact	The review and enhancement of the conservation area aims to contribute to the delivery of an improved environment encouraging footfall to the town. A more vibrant town centre should see increased food and leisure offers. An improved ambience will create the feeling of a safer environment.

Further actions required	Engage with wider range of stakeholder groups who can provide input into work within the conservation area by providing expertise on a range of disabilities and mental health issues
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Positive impacts identified:

A social and physical environment that encourage and support health and well-being	Protection and enhancement of important historic buildings within the conservation area will contribute to the creation of a positive physical environment supporting well-being.
Access to good quality, healthy food	Not relevant to this report
People's emotional and mental well-being	By creating a positive physical environment this will support emotional and mental wellbeing. Improved town centre ambience creating an improved sense of safety and well being.
Access to healthcare	Not relevant to this report
Participation in leisure opportunities	Not relevant to this report

Negative impacts identified:

A social and physical environment that encourage and support health and well-being	
Access to good quality, healthy food	Not relevant to this report
People's emotional and mental well-being	
Access to healthcare	Not relevant to this report
Participation in leisure opportunities	Not relevant to this report

A more equal Denbighshire

Overall Impact	Neutral
Justification for impact	The proposed changes to the conservation area boundaries are likely to have a neutral impact. However, regeneration projects within the conservation area should address inequalities, create opportunities and maximise the accessibility within the town centre, particular people with protected characteristics.
Further actions required	Ensure communication with relevant individuals and groups representing people with protected characteristics. Ensure designs of public spaces and facilities within the conservation area are developed with people with protected characteristics

Positive impacts identified:

Improving the well-being of people with protected characteristics. The nine protected characteristics are: age; disability; gender reassignment; marriage or civil partnership; pregnancy and maternity; race; religion or belief; sex; and sexual orientation	Proposed changes to the conservation area will allow for redevelopment within part of West Rhyl to provide modern accessible housing to replace the current poor quality accommodation.
People who suffer discrimination or disadvantage	Proposed changes to the conservation area will allow for redevelopment within part of West Rhyl to provide modern accessible housing to replace the current poor quality accommodation
Areas with poor economic, health or educational outcomes	None identified
People in poverty	A thriving town centre may support economic activity and offer opportunities for those on low income or unemployed better job prospects

Negative impacts identified:

Improving the well-being of people with protected characteristics. The nine protected characteristics are: age; disability; gender reassignment; marriage or civil partnership; pregnancy and maternity; race; religion or belief; sex; and sexual orientation	None identified
People who suffer discrimination or disadvantage	Extensions to parts of the conservation area may raise property values, pricing out those people.
Areas with poor economic, health or educational outcomes	None identified
People in poverty	None identified

Overall Impact	Positive
Justification for impact	An improved ambience will lead to improved perceptions of safety. Better maintained buildings which are attractive and vibrant, both day and night, will also lead to a greater perception of safety for those in the town centre.
Further actions required	Fair and proportionate enforcement action, which is communicated clearly and consistently to property and business owners will resolve potential negative consequences. Ensure communication with relevant individuals, groups and businesses. Ensure designs of regeneration projects and public spaces and facilities are developed with people with protected characteristics.

Positive impacts identified:

Safe communities and individuals	Protection and enhancement of historic buildings will contribute to an improved ambience, leading to improved perceptions of safety and increased footfall will help. Better maintained buildings which are attractive and vibrant, both day and night, will also lead to a greater of perception of safety for those in the town centre.
Community participation and resilience	Consultation on changes to the conservation area has taken place. Need to ensure ongoing communication with relevant individuals, groups and businesses
The attractiveness of the area	Protection and enhancement of historic buildings will contribute to improving the attractiveness of Rhyl.
Connected communities	Not relevant to this report

Negative impacts identified:

Safe communities and individuals	Potential conflict between protection of historic buildings and shop fronts and the re-instatement of original historic features
Community participation and resilience	Potential for conflict of opinions from various groups, over the details of the projects
The attractiveness of the area	None identified
Connected communities	Not relevant to this report

A Denbighshire of vibrant culture and thriving Welsh language

Overall Impact	Positive
Justification for impact	It is difficult to quantify any negative or positive impact on the Welsh Language. However, the retention of the conservation area, with proposed changes, is important to the culture and heritage of the town.
Further actions required	As part of the engagement and communication strategy for the Masterplan and these linked projects, promote the economic and social benefits of a greater use and promotion of the Welsh Language.

Positive impacts identified:

People using Welsh	Not relevant to this report
Promoting the Welsh language	Not relevant to this report
Culture and heritage	Retaining a robust conservation area in Rhyl will assist in the retention and enhancement of important historic assets - important to the culture and heritage of the town.

Negative impacts identified:

People using Welsh	Not relevant to this report
Promoting the Welsh language	Not relevant to this report
Culture and heritage	None identified

A globally responsible Denbighshire

Overall Impact	Neutral
Justification for impact	Changes to Rhyl conservation area are unlikely to provide positive or negative consequences globally.
Further actions required	Having regard to sustainable development principles, i.e. sourcing materials and services locally, this will ensure that conservation area projects are undertaken in a responsible manner.

Positive impacts identified:

Local, national, international supply chains	Opportunities to source local materials, both natural and man-made, for work within the conservation area
Human rights	Any council project will have regard to the relevant legislation, pertaining to human rights
Broader service provision in the local area or the region	None identified

Negative impacts identified:

Local, national, international supply chains	Potential for higher costs to buy local supplies and potential difficulty in sourcing locally
Human rights	None identified
Broader service provision in the local area or the region	None identified